



NOTICE AND AGENDA PLANNING & ZONING COMMISSION MEETING MONDAY, JUNE 2, 2025, 6:30 P.M.

Notice is hereby given that the Planning and Zoning Commission of the City of Glenn Heights, Texas, will hold a Regular Meeting on Monday, June 2, 2025, beginning at 6:30 P.M., in the City Hall, City Council Chambers, located at 1938-C South Hampton Road, Glenn Heights, Texas, 75154, as prescribed by Vernon's Texas Civil Statutes, Government Code Section §551.041, to consider and possibly take action on the following agenda items. Items do not have to be taken in the same order as shown in this meeting Notice and Agenda.

This Notice and Meeting Agenda, and the Agenda Packet, are posted online at <https://www.glennheightstx.gov/129/Agendas-Minutes>.

CALL TO ORDER

INVOCATION

PLEDGE OF ALLEGIANCE

PUBLIC COMMENT

The public is invited to address City Council on any topic. Speakers should complete a Public Comment form and submit it to the City Secretary prior to the beginning of the meeting. The Texas Open Meetings Act prohibits City Council from discussing or taking action on issues not posted on the agenda; however, the Mayor, City Manager or designee may provide specific factual information, recite an existing policy, or schedule a discussion of the issue for possible placement on a future agenda. Speakers are limited to a maximum of three (3) minutes.

AGENDA

1. Planned Development 27A: Public Hearing to receive testimony regarding the Zoning Ordinance and Zoning Map, as previously amended, by amending the zoning of approximately 111.606 acre tract of land situated in the William Rawlings Survey, Abstract No. 1205 in the City of Glenn Heights, Dallas County, Texas, the tract being generally located at the southeastern corner of the intersection of W. Bear Creek Road and S. Westmoreland Road in the City of Glenn Heights, Dallas County, Texas, by changing the zoning classification from Planned Development-27 (PD-27) for mixed use single-family residential (base zoning Single-Family Residential-3), townhome and multi-family to Planned Development-27A (PD-27A) for single-family residential (base Single-Family Residential-3) and Multi-Family residential uses.
2. Planned Development 27A: Discuss and consider making a recommendation to the City Council of the City of Glenn Heights, Texas, regarding the Zoning Ordinance and Zoning Map, as previously amended, by amending the zoning of approximately 111.606 acre tract of land situated in the William Rawlings Survey, Abstract No. 1205 in the City of Glenn Heights, Dallas County, Texas, the tract

being generally located at the southeastern corner of the intersection of W. Bear Creek Road and S. Westmoreland Road in the City of Glenn Heights, Dallas County, Texas, by changing the zoning classification from Planned Development-27 (PD-27) for mixed use single-family residential (base zoning Single-Family Residential-3), townhome and multi-family to Planned Development-27A (PD-27A) for single-family residential (base Single-Family Residential-3) and Multi-Family residential uses. (Parviz Pourazizian, Director of Development Services)

3. Public Hearing to receive testimony related to granting a change in zoning from Single-Family Residential-1 (SF-1) to Single-Family Residential-3 (SF-3) for approximately 15.52+/- acres of land situated in the John F. Porter survey, Abstract No. 1118, City of Glenn Heights, Dallas County, Texas (tract I), and lots 1 through 5 of block 1, lots 1 through 10 of block 2, and lots 1 through 7 of block 3, Phase One of the Meadows on Bear Creek, an Addition to the City of Glenn Heights, Dallas, Texas (tract II), also commonly known as 928 East Bear Creek Road, Glenn Heights, Dallas County, Texas.
4. Zone Change 25-01: Discuss and consider making a recommendation to the City Council of the City of Glenn Heights, Texas, related to granting a change in zoning from Single-Family Residential-1 (SF-1) to Single-Family Residential-3 (SF-3) for approximately 15.52+/- acres of land situated in the John F. Porter survey, Abstract No. 1118, City of Glenn Heights, Dallas County, Texas (tract I), and lots 1 through 5 of block 1, lots 1 through 10 of block 2, and lots 1 through 7 of block 3, Phase One of the Meadows on Bear Creek, an Addition to the City of Glenn Heights, Dallas, Texas (tract II), also commonly known as 928 East Bear Creek Road, Glenn Heights, Dallas County, Texas. (Parviz Pourazizian, Director of Development Services)
5. Planned Development 32 (PD-32): Public Hearing to receive testimony related to granting a change in zoning from Retail (R) District to a Planned Development District-32 (PD-32) for approximately 33.3559 acres of land located at the North West Corner of Ovilla Road and South Uhl Road, being a tract of land situated in the M Crasp Survey, Abstract Number 264, and the M. McDermott Survey, Abstract Number 743, City of Glenn Heights, Ellis County, Texas and being a portion of that tract of land described as Sixth Tract in the deed to Joe Michael McGeath, recorded in Volume 621, Page 839, of the official public record of Ellis County, Texas (OPRECT), also commonly known as 605 Ovilla Road, Glenn Heights, Texas by changing the zoning classification from Retail (R) to Planned Development-32 (PD-32) for the purpose of a mixed-use development site, consisting of Multi-Family and Commercial.
6. Planned Development 32 (PD-32): Discuss and consider making a recommendation to the City Council of the City of Glenn Heights, Texas, related to granting a change in zoning from Retail (R) District to a Planned Development District-32 (PD-32) for approximately 33.3559 acres of land located at the North West Corner of Ovilla Road and South Uhl Road, being a tract of land situated in the M Crasp Survey, Abstract Number 264, and the M. McDermott Survey, Abstract Number 743, City of Glenn Heights, Ellis County, Texas and being a portion of that tract of land described as Sixth Tract in the deed to Joe Michael McGeath, recorded in Volume 621, Page 839, of the official public record of Ellis County, Texas (OPRECT), also commonly known as 605 Ovilla Road, Glenn

Heights, Texas by changing the zoning classification from Retail (R) to Planned Development-32 (PD-32) for the purpose of a mixed-use development site, consisting of Multi-Family and Commercial. (Parviz Pourazizian, Director of Development Services)

7. Preliminary Plat PP-2025-02: Discuss and consider making a recommendation on a Preliminary Plat Request by Michael Neary, on behalf of Mark Buster, for Uhl Crossing, for a 33.359-acre tract of land being generally located at the Northwest corner of the intersection of Ovilla Road and South Uhl Road in the City of Glenn Heights, Ellis County, Texas, situated in the M. Crasp Survey, Abstract No. 264, and the M. McDermott Survey, Abstract No. 743, city of Glenn Heights, Ellis County, Texas and being a portion of that tract of land described in a deed to William C. Buster, Trustee of the Buster Family Trust, recorded in instrument No. 2213571, of the official public records of Ellis county, Texas (OPRECT). (Parviz Pourazizian, Director of Development Services)
8. Final Plat FP-2025-02: Discuss and consider making a recommendation on a Final Plat Request by Michael Neary, on behalf of Mark Buster, for Uhl Crossing, for a 33.359-acre tract of land being generally located at the Northwest corner of the intersection of Ovilla Road and South Uhl Road in the City of Glenn Heights, Ellis County, Texas, situated in the M. Crasp Survey, Abstract No. 264, and the M. McDermott Survey, Abstract No. 743, city of Glenn Heights, Ellis County, Texas and being a portion of that tract of land described in a deed to William C. Buster, Trustee of the Buster Family Trust, recorded in instrument No. 2213571, of the official public records of Ellis county, Texas (OPRECT). (Parviz Pourazizian, Director of Development Services)

ADJOURNMENT

In accordance with the Americans with Disabilities Act, If you are a person with a disability and require information or materials in an appropriate alternative format; or if you require any other accommodations, please contact the City Secretary at least 48 hours in advance of the event at 972-223-1690 ext. 125 or email brandi.brown@glennheightstx.gov. Advance notification within this guideline will enable the City to make reasonable arrangements to ensure accessibility.

I, Brandi Brown, City Secretary, do hereby certify that the above Meeting Notice and Agenda was posted in a place convenient to the Public at Glenn Heights City Hall, 1938 South Hampton Road, Glenn Heights, Texas by 5:00 P.M. on Friday, May 30, 2025.

Pursuant to Section 551.071 of the Texas Government Code, the City Council reserves the right to consult in closed session with its attorney at any time during the course of this meeting and to receive legal advice regarding any item listed on this agenda.

Brandi Brown, City Secretary

VALENCIA ESTATES PLANNED DEVELOPMENT (PD-27A)



PARVIZ POURAZIZIAN
DIRECTOR OF DEVELOPMENT SERVICES

JUNE 2, 2025



Public Hearing to Receive testimony regarding zoning ordinance and zoning map, as previously amended, by amending the zoning of approximately 111.606 acres tract of land situated in the William Rawlings Survey, Abstract No. 1205 in the City of Glenn Heights, Dallas County, Texas, the tract being generally located at the southeastern corner of the intersection of W. Bear Creek Road and S. Westmoreland Road in the City of Glenn Heights, Dallas County, Texas, by changing the zoning classification from Planned Development-27 (PD-27) for mixed use single-family residential (base zoning Single-Family Residential-3), townhome and multi-family to Planned Development-27A (PD-27A) for single-family residential (base Single-Family Residential-3) and Multi-Family residential uses.

Rezoning Request



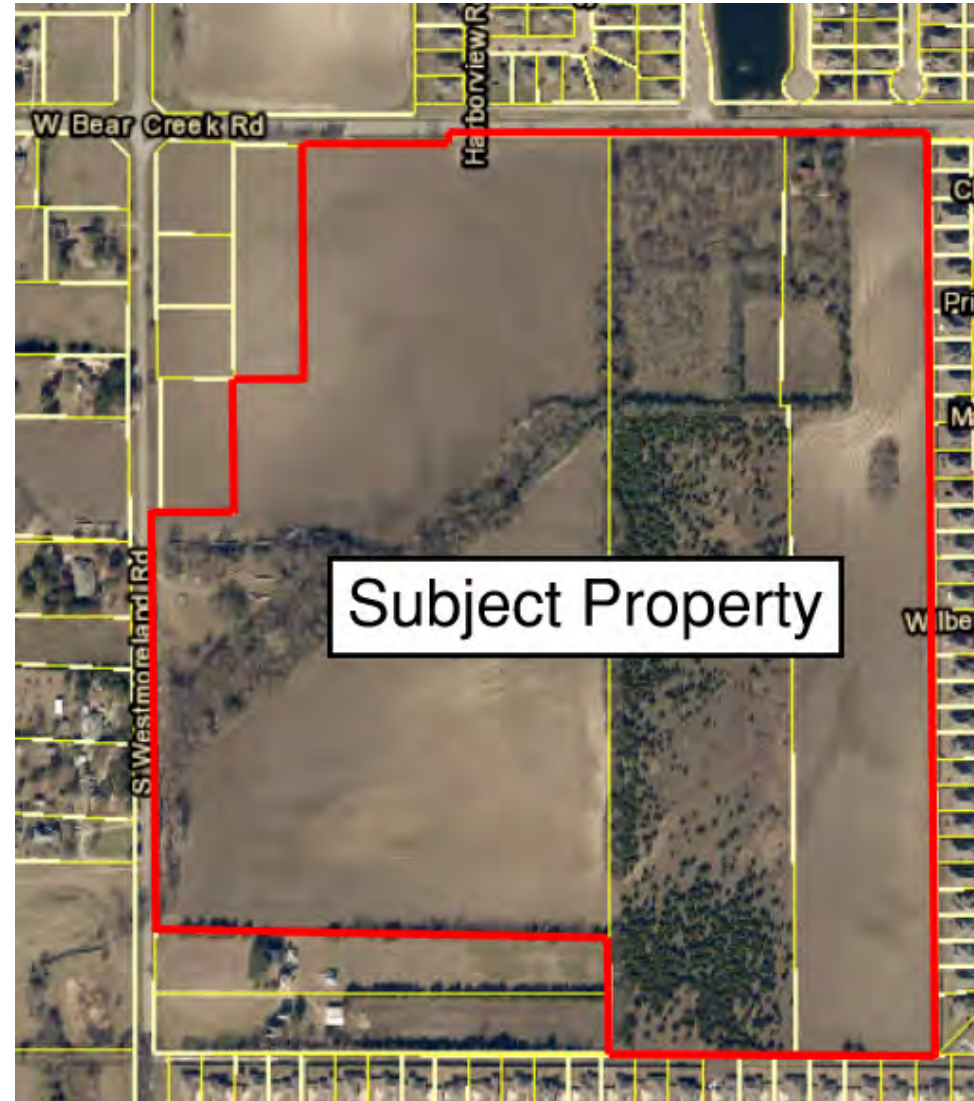
Applicant: Jim Dewey

Location: Southeast corner of W. Bear Creek & S. Westmoreland

Request: Rezone from PD-27, MF, TH, SF3 and SF4 to PD-27A ,
MF, SF3 and SF4

Current Zoning: PD-27, MF, TH, SF3 and SF4

Location Map





Paradise Estate



PH-3 DEVELOPMENT
[MULTIFAMILY DISTRICT,
PARK & POND]

PARK BENCH & TRASH CAN

495
368

PROPOSED LAND USE			
COLOR	LOT DESCRIPTION	NO. OF UNITS	
[Brown]	TOWNHOMES	222	
[Pink]	SINGLE FAMILY	9000+ SQF	81
		5500-9000 SQFT	192
[Purple]	MULTIFAMILY*	368	
[Blue]	POND /Detention /Recreation	05	
[Green]	PARK	09	

Proposed Land Use District	Base Zoning District	Total Approximate Land Area (Including open space)	Approximate Open / Park Space (Percent of Land)	Open / Park Space (Min. Required)	Max. Required Density (units/ acre)
District-1 Townhome District PH-1 Development	MF/Multifamily Residential	24.42 acres (21.88%)	3.65 acres (15.31%)	15%	12
District-2 Single-Family PH-2 Development	SF-3/ Single-Family Residential-3	66.10 acres (59.25%)	11.63 acres (17.8%)	15%	8
District-3 Multifamily Residential District	MF/ Multifamily Residential	21.08 acres (18.87%)	7.90 acres (37.47%)	15%	30
	Total	111.606 acres (100%)	23.18 acres (20.77%)	-	-



Valencia Estates (Formerly know as Paradise Estate)

LAND AREA TABULATION

TOTAL LAND AREA (GROSS)	112.16 ACRES
ROW DEDICATION BEAR CREEK ROAD	0.93 ACRES
ROW DEDICATION WESTMORELAND ROAD	0.95 ACRES
LAND AREA NET OF ROW DEDICATION	110.28 ACRES
LAND AREA OF SINGLE FAMILY (NET ROW DED.)	68.58 ACRES
LAND AREA OF APARTMENTS (NET ROW DED.)	21.85 ACRES

COLOR	PROPOSED LAND USE	NO. OF LOTS/UNITS
Orange	SINGLE FAMILY ≥ 9,000 SQ FT	71
	SINGLE FAMILY 3,500-8,000 SQ FT	328
Blue	MULTIFAMILY	400-MAXIMUM

397 Vs. 495
400 Vs. 368

PROPOSED LAND USE DISTRICT	BASE ZONING DISTRICT	TOTAL APPROX. LAND AREA (INCLUDING OPEN SPACE)*	APPROX. OPEN/PARK SPACE (% OF AREA)	OPEN/PARK SPACE (MIN. REQUIRED)	MAXIMUM ALLOWABLE DENSITY (UNITS/ACRE)
DISTRICT 1 SINGLE FAMILY RESIDENTIAL	SF-3 SINGLE FAMILY RESIDENTIAL-3	68.53 ACRES*	13.94 ACRES (15.6%)	15%	5
DISTRICT 2 MULTIFAMILY RESIDENTIAL	MF/MULTIFAMILY RESIDENTIAL	21.85 ACRES*	NA	10%	18

* AREA IS DEVELOPABLE AREA (NET OF S. WESTMORELAND ROAD AND W. BEAR CREEK ROAD ROW DEDICATIONS) THESE AREAS DO INCLUDE ALL STREET ROW DEDICATIONS WITHIN THE DEVELOPMENT

LEGEND

	SINGLE FAMILY LOTS
	OPEN SPACE/PARK AREAS
	APARTMENT ZONING DISTRICT

NOTES:

1. Drainage/Flood study will be done during details engineering submittal
2. A traffic impact analysis will be provided based on proposed density during details engineering submittal.
3. A Concept/Site Plan for the apartments must be submitted for approval prior to permitting.





Land Use

LAND AREA TABULATION

TOTAL LAND AREA (GROSS) _____ 112.16 ACRES
 ROW DEDICATION BEAR CREEK ROAD _____ 0.93 ACRES
 ROW DEDICATION WESTMORELAND ROAD _____ 0.95 ACRES
 LAND AREA NET OF ROW DEDICATION _____ 110.28 ACRES
 LAND AREA OF SINGLE FAMILY (NET ROW DED.) ___ 88.33 ACRES
 LAND AREA OF APARTMENTS (NET ROW DED.) ___ 21.95 ACRES

COLOR	PROPOSED LAND USE	NO. OF LOTS/UNITS	
	SINGLE FAMILY	≥ 9,000 SQ FT	69
		6,000–9,000 SQ FT	53
		5,500–5,999 SQ. FT.	280
	MULTIFAMILY	400 MAXIMUM	

PROPOSED LAND USE DISTRICT	BASE ZONING DISTRICT	TOTAL APPROX. LAND AREA (INCLUDING OPEN SPACE)*	APPROX. OPEN/PARK SPACE (% OF AREA)	OPEN/PARK SPACE (MIN. REQUIRED)	MAXIMUM ALLOWABLE DENSITY (UNITS/ACRE)
DISTRICT 1 SINGLE FAMILY RESIDENTIAL	SF-3 SINGLE FAMILY RESIDENTIAL-3	88.33 ACRES *	14.18 ACRES (16.0%)	15%	5
DISTRICT 2 MULTIFAMILY RESIDENTIAL	MF/MULTIFAMILY RESIDENTIAL	21.95 ACRES *	NA	15%	18



SF-3 9K (Deviations)

Planned Development – Single Family District SF-3 -(Minimum 9,000 sq. ft. lots)		
Lot Configuration	Requirement	Provided
Minimum Lot Area	9,000 sq ft with 11,000 sq. ft. average	9,000 sq. ft.
Minimum Lot Width	70 ft (except for cul-de-sac lots)	60 ft.
Minimum Lot Depth	120 ft (except at cul-de-sac lots)	120 ft.
Yard Requirements		
Front Yard	30 ft	25 ft
Side Yard	8 ft	5 ft
Side Yard of Corner Lots	15 ft	10 ft
Rear Yard	20 ft	15 ft
Others		
Minimum Floor Area per Dwelling Unit	1,750 sq ft with 1,850 sq. ft. average	1,850 sq. ft.
Maximum Lot Coverage of Building Structure	40%	40%
Height of Main Structure	2.5 stories or 35 ft	2.5 stories or 35 ft
Height of Accessory Structures	15 ft	15 ft
Maximum Density	Max of 3.5 units per acre	5 units per acre
Trees	Two large shade trees and Two medium trees in rear yard	Two large shade trees and Two medium trees in rear yard
Sod	None	Front, side, and rear yards



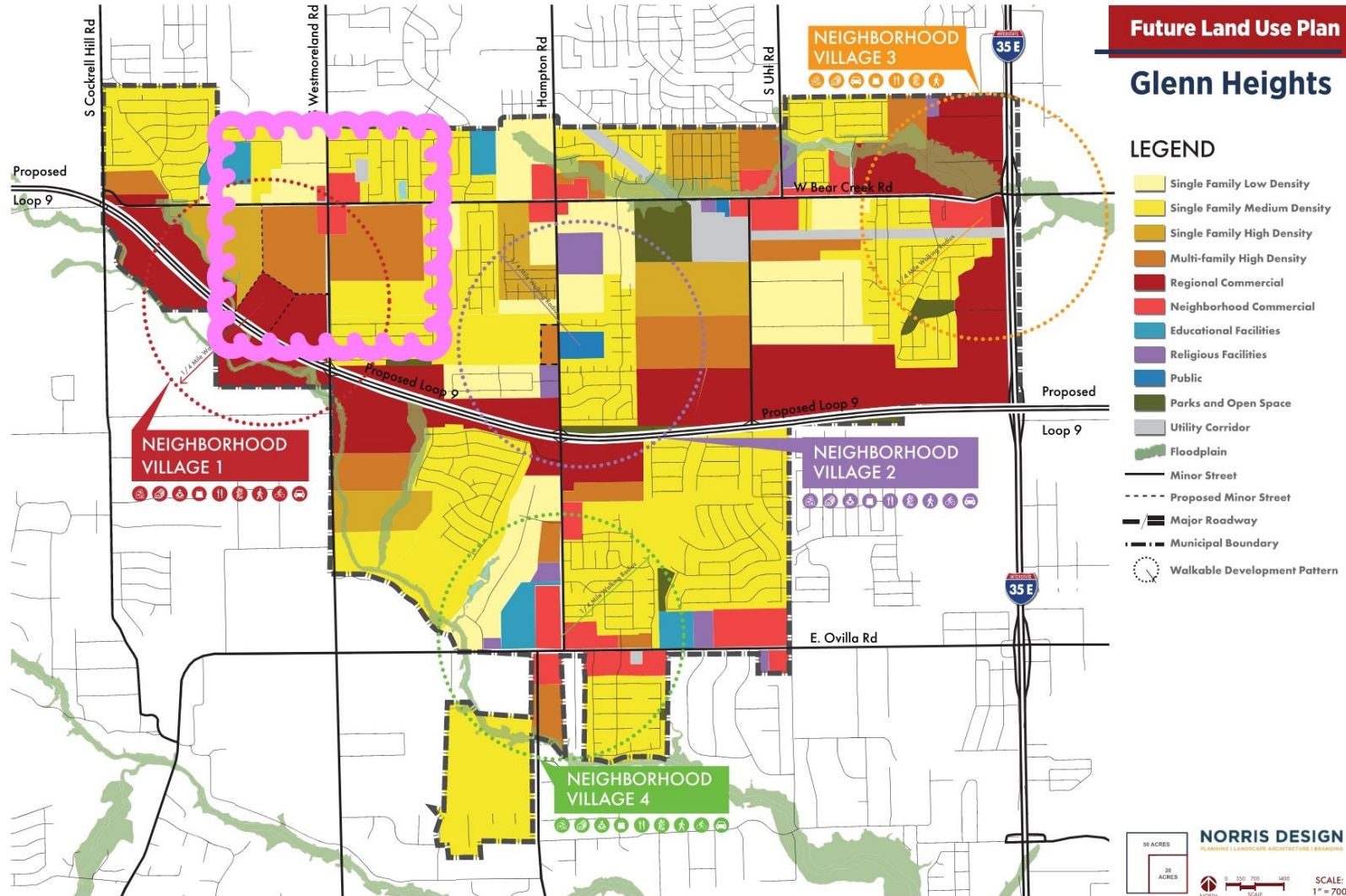
SF-3 and SF-4 5.5K (Deviations)

Planned Development – Single Family District SF-4 -(Minimum 5,500 sq. ft. lots)		
<i>Lot Configuration</i>	Requirement	Provided
Minimum Lot Area	7,500 sq ft	5,500 sq. ft.
Minimum Lot Width	70 ft	70 ft (except for cul-de-sac lots)
Minimum Lot Depth	100 ft (except for cul-de-sac lots)	100 ft (except for cul-de-sac lots)
<i>Yard Requirements</i>		
Front Yard	25 ft	20 ft
Side Yard	10% or 5 ft	5 ft
Side Yard of Corner Lots	15 ft	10 ft
Rear Yard	20 ft	15 ft
<i>Others</i>		
Minimum Floor Area per Dwelling Unit	1,550 sq. ft with 1,700 sq. ft. average	1,500 sq. ft.
Lot Coverage of Building Structure	35% for main building and 60% for all impervious areas	50% for main building
Height of Main Structure	2.5 stories or 35 ft	2.5 stories or 35 ft
Height of Accessory Structures	15 ft	15 ft.
Maximum Density	Max of 3.5 units per acre	5 units per acre
Trees	Two large shade trees and Two medium trees in rear yard	One 3" caliper tree in front yard Two 3" caliper trees in rear yard
Sod	None	Front, side, and rear yards

2024 FUTURE LAND USE (NOT ADOPTED)



5-7: Future Land Use Plan



RECOMMENDATION



Staff acknowledges the concerns related Traffic at the intersection of W Bear Creek and S Westmoreland Rd. We have ideas about adding traffic light and additional ROW and driving lanes which requires further investigation.

- ❑ Approval of the Planned Development-27A.
 - ❑ Staff believes this request to be in alignment with the City of Glenn Heights Comprehensive Plan and City Zoning Ordinance
 - ❑ Staff believes the request will result in an overall superior development compared to development permitted by the current Planned Development 6 Zoning District.

QUESTIONS



COMMENTS

METES AND BOUNDS DESCRIPTION:

BEING a tract of land situated in the William Rawlings Survey, Abstract No. 1205 in the City of Glenn Heights, Dallas County, Texas, and being all of a tract of land described in a deed to Your Home Builder, Inc. as recorded in Instrument No. 20070138404 of the Official Public Records of Dallas County, Texas, (O.P.R.D.C.T.) and being all of a tract of land described in a deed to Sudha Reddy Suravaram and Yojana Randi Sangu as recorded in Instrument No. 201600127111 (O.P.R.D.C.T.), and being all of that tract of land described in Probate to William Patrick Young and Mary Kathleen Young, as described in Partition Deed recorded in Volume 96079, Page 3070, D.R.D.C.T., and being more particularly described as follows;

BEGINNING at a point at the southwest corner of said Your Home Builder, Inc. tract and the northwest corner of a tract of land described in a deed to Rogerick R. Johnson and Manivone Visisombath as recorded in Instrument No. 202100044641, (O.P.R.D.C.T.) and on the east right-of-way line of S. Westmoreland Road (a variable width right-of-way), for a corner;

THENCE North 01 degree 30 minutes 58 seconds West along the west line of said Your Home Builder, Inc. tract and the east right-of-way line of said S. Westmoreland Road, a distance of 1,176.69 feet to a point at the northwest corner of said Your Home Builder, Inc. tract and the southwest corner of Lot 4R, Block A, of Everett L. Trees Addition an addition to the City of Glenn Heights, Dallas County, Texas as recorded in Volume 89247, Page 80, Map Records of Dallas County, Texas, for a corner;

THENCE North 89 degrees 49 minutes 20 seconds East along the south line of said Lot 4R, a distance of 243.75 feet to a point at the southeast corner of said Lot 4R, for a corner;

THENCE North 01 degree 14 minutes 36 seconds West, along the east line of said Lot 4R, a distance of 377.60 feet to a point at the northeast corner of said Lot 4R, and the southeast corner of said Lot 3, and the southwest corner of said Lot 5R1, for a corner;

THENCE North 89 degrees 54 minutes 44 seconds East, along the south line of said Lot 5R, a distance of 200.02 feet to a point at the southeast corner of said Lot 5R1 to a point for corner;

THENCE North 01 degree 14 minutes 36 seconds West, along the west line of said Your Home Builder, Inc. tract and the east line of said Lot 5R1, a distance of 658.91 feet to a point at the northwest corner of said Your Home Builder, Inc. tract and the northeast corner of said Lot 5R1 and on the south right-of-way line of W. Bear Creek Road (a variable width right-of-way), for a corner;

THENCE North 89 degrees 38 minutes 30 seconds East, along the north line of said Your Home Builder, Inc. tract, and the south right-of-way line of said W. Bear Creek Road, a distance of 238.34 feet to a point, for corner;

THENCE North 89 degrees 00 minutes 30 seconds East, along the north line of said Your Home Builder, Inc. tract, and the south right-of-way line of said W. Bear Creek Road, a distance of 168.04 feet to a point, for corner;

THENCE North 00 degrees 57 minutes 44 seconds West, a distance of 37.82 feet to a point on the south right-of-way line of said W. Bear Creek Road, for a corner;

THENCE North 88 degrees 59 minutes 02 seconds East, along the north line of said Your Home Builder, Inc. tract, and the south right-of-way line of said W. Bear Creek Road, a distance of 452.22 feet to a point at the northeast corner of said Your Home Builder, Inc. tract and the northwest corner of said Suravaram and Sangu tract, for corner;

THENCE North 89 degrees 08 minutes 00 seconds East, along the north line of said Suravaram and Sangu. tract, and the south right-of-way line of said W. Bear Creek Road, passing at a distance of 484.48 feet, a point at the northeast corner of said Suravaram and Sangu tract and the northwest corner of said Young tract, and continuing along the north line of said Young tract and said south right-of-way line, in all a total cumulative distance of 894.66 feet to the northeast corner of said Young tract;

THENCE 01 degrees 46 minutes 44 seconds East, along the east line of said Young tract, a distance of 2,601.93 feet to the southeast corner of same;

THENCE North 89 degrees 22 minutes 37 seconds West, along the south line of said Yong tract, passing at a distance of 408.21 feet the southwest corner of said Young tract and southeast corner of said Suravaram and Sangu tract, and continuing along the south line of said Suravaram and Sangu tract and on the north line of said Replat of Meadow Spings, Phase 2 addition, in all a total cumulative distance of 921.73 feet to a point at the southwest corner of said Suravaram and Sangu tract and the southeast line of a tract of land described in a deed to Eric O. Gomez and wife, Olivama Gomez, as recorded in Inst. No. 202000173147 (O.P.R.D.C.T.), for a corner;

THENCE North 01 degree 11 minutes 33 seconds west along the west line of said Suravaram and Sangu tract and the east lines of said Gomez tract and said Johnson and Visisombath tract, a distance of 320.75 feet to a point at the southeast corner of said Your Home Builder, Inc. tract and the northeast corner of said Johnson and Visisombath tract to a point for corner;

THENCE South 89 degrees 40 minutes 20 seconds West, along the south line of said Your Home Builder, Inc. tract and the north line of said Johnson and Visisombath tract a distance of 1,295.00 feet to the POINT OF BEGINNING AND CONTAINING 111.6060 acres and 4,861,556 square feet, more or less.

METES AND BOUNDS DESCRIPTION:

BEING a tract of land situated in the William Rawlings Survey, Abstract No. 1205 in the City of Glenn Heights, Dallas County, Texas, and being all of a tract of land described in a deed to Your Home Builder, Inc. as recorded in Instrument No. 20070138404 of the Official Public Records of Dallas County, Texas, (O.P.R.D.C.T.) and being all of a tract of land described in a deed to Sudha Reddy Suravaram and Yojana Rani Sangu as recorded in Instrument No. 201600127111 (O.P.R.D.C.T.) and being all of that tract of land described in Probate to William Patrick Young and Mary Kathleen Young, as described in Partition Deed recorded in Volume 96079, Page 3070, D.R.D.C.T., and being more particularly described as follows:

BEGINNING at a point at the southwest corner of said Your Home Builder, Inc. tract and the northwest corner of a tract of land described in a deed to Rogerick R. Johnson and Manivone Visisombath as recorded in Instrument No. 202100044641, (O.P.R.D.C.T.) and on the east right-of-way line of S. Westmoreland Road (a variable width right-of-way), for a corner;

THENCE North 01 degree 30 minutes 58 seconds West along the west line of said Your Home Builder, Inc. tract and the east right-of-way line of said S. Westmoreland Road, a distance of 1,176.69 feet to a point at the northwest corner of said Your Home Builder, Inc. tract and the southwest corner of Lot 4R, Block A, of Everett L. Trees Addition an addition to the City of Glenn Heights, Dallas County, Texas as recorded in Volume 89247, Page 80, Map Records of Dallas County, Texas, for a corner;

THENCE North 89 degrees 49 minutes 20 seconds East along the south line of said Lot 4R, a distance of 243.75 feet to a point at the southeast corner of said Lot 4R, for a corner;

THENCE North 01 degree 14 minutes 36 seconds West, along the east line of said Lot 4R, a distance of 377.80 feet to a point at the northeast corner of said Lot 4R, and the southeast corner of said Lot 3, and the southwest corner of said Lot 5R1, for a corner;

THENCE North 89 degrees 54 minutes 44 seconds East, along the south line of said Lot 5R, a distance of 200.02 feet to a point at the southeast corner of said Lot 5R1 to a point for corner;

THENCE North 01 degree 14 minutes 36 seconds West, along the west line of said Your Home Builder, Inc. tract and the east line of said Lot 5R1, a distance of 658.91 feet to a point at the northwest corner of said Your Home Builder, Inc. tract and the northeast corner of said Lot 5R1 and on the south right-of-way line of W. Bear Creek Road (a variable width right-of-way), for a corner;

THENCE North 89 degrees 38 minutes 30 seconds East, along the north line of said Your Home Builder, Inc. tract, and the south right-of-way line of said W. Bear Creek Road, a distance of 238.34 feet to a point, for corner;

THENCE North 89 degrees 00 minutes 30 seconds East, along the north line of said Your Home Builder, Inc. tract, and the south right-of-way line of said W. Bear Creek Road, a distance of 168.04 feet to a point, for corner;

THENCE North 00 degrees 57 minutes 42 seconds West, a distance of 37.82 feet to a point on the south right-of-way line of said W. Bear Creek Road, for a corner;

THENCE North 88 degrees 59 minutes 02 seconds East, along the north line of said Your Home Builder, Inc. tract, and the south right-of-way line of said W. Bear Creek Road, a distance of 452.22 feet to a point at the northeast corner of said Your Home Builder, Inc. tract and the northwest corner of said Suravaram and Sangu tract, for corner;

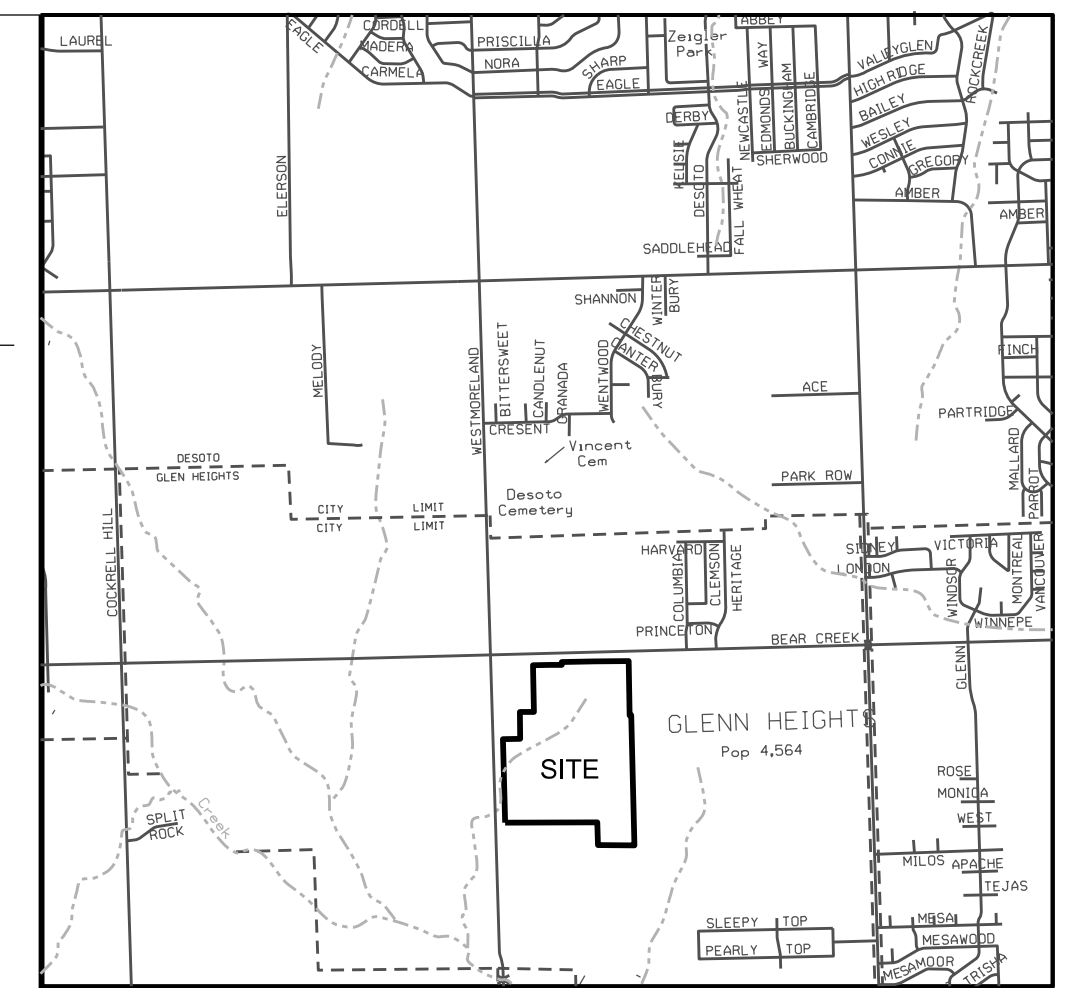
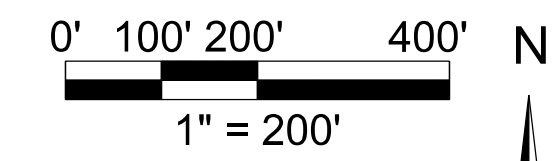
THENCE North 89 degrees 08 minutes 00 seconds East, along the north line of said Suravaram and Sangu tract, and the south right-of-way line of said W. Bear Creek Road, passing at a distance of 484.48 feet, a point at the northeast corner of said Suravaram and Sangu tract and the northwest corner of said Young tract, and continuing along the north line of said Young tract and said south right-of-way line, in all a total cumulative distance of 894.66 feet to the northeast corner of said Young tract;

THENCE 01 degrees 46 minutes 44 seconds East, along the east line of said Young tract, a distance of 2,601.93 feet to the southeast corner of same;

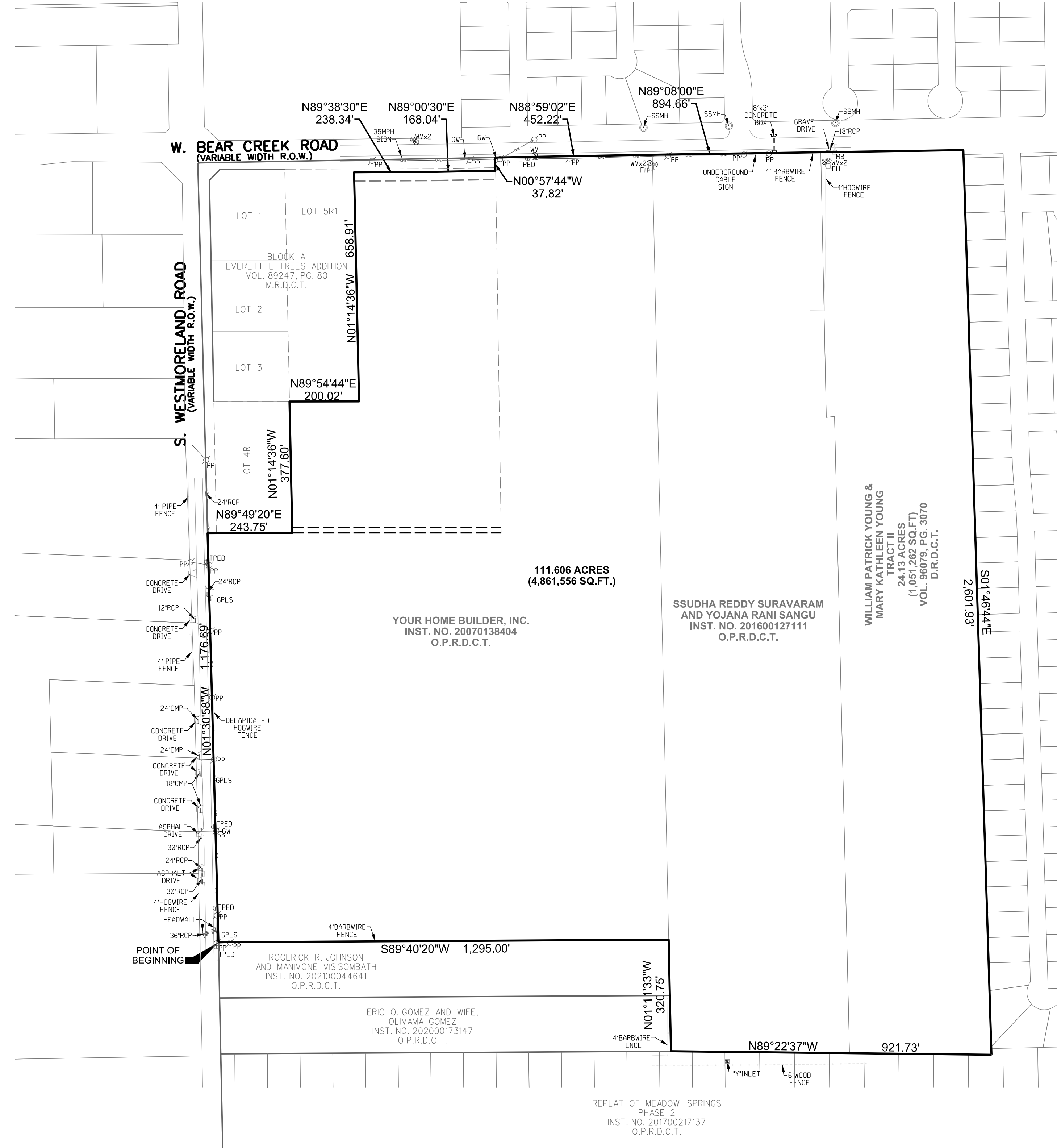
THENCE North 89 degrees 22 minutes 37 seconds West, along the south line of said Young tract, passing at a distance of 408.21 feet the southwest corner of said Young tract and southeast corner of said Suravaram and Sangu tract, and continuing along the south line of said Suravaram and Sangu tract and on the north line of said Replat of Meadow Springs, Phase 2 addition, in all a total cumulative distance of 921.73 feet to a point at the southwest corner of said Suravaram and Sangu tract and the southeast line of a tract of land described in a deed to Eric O. Gomez and wife, Olivama Gomez, as recorded in Inst. No. 202000173147 (O.P.R.D.C.T.), for a corner;

THENCE North 01 degree 11 minutes 33 seconds west along the west line of said Suravaram and Sangu tract and the east lines of said Gomez tract and said Johnson and Visisombath tract, a distance of 320.75 feet to a point at the southeast corner of said Your Home Builder, Inc. tract and the northeast corner of said Johnson and Visisombath tract to a point for corner;

THENCE South 89 degrees 40 minutes 20 seconds West, along the south line of said Your Home Builder, Inc. tract and the north line of said Johnson and Visisombath tract a distance of 1,295.00 feet to the POINT OF BEGINNING AND CONTAINING 111.6060 acres and 4,861,556 square feet, more or less.



VICINITY MAP
NOT TO SCALE



111.606 ACRES
(4,861,556 SQ.FT.)

YOUR HOME BUILDER, INC.
INST. NO. 20070138404
O.P.R.D.C.T.

SSUDHA REDDY SURAVARAM
AND YOJANA RANI SANGU
INST. NO. 201600127111
O.P.R.D.C.T.

WILLIAM PATRICK YOUNG &
MARY KATHLEEN YOUNG
TRACT II
24.13 ACRES
(1,051,262 SQ.FT.)
VOL. 96079, PG. 3070
D.R.D.C.T.

ROGERICK R. JOHNSON
AND MANIVONE VISISOMBATH
INST. NO. 202100044641
O.P.R.D.C.T.

ERIC O. GOMEZ AND WIFE,
OLIVAMA GOMEZ
INST. NO. 202000173147
O.P.R.D.C.T.

REPLAT OF MEADOW SPRINGS
PHASE 2
INST. NO. 201700217137
O.P.R.D.C.T.

LEGEND

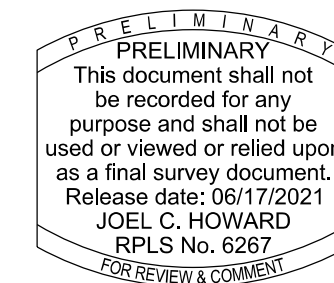
O.P.R.D.C.T.	OFFICIAL PUBLIC RECORDS OF DALLAS COUNTY, TEXAS
D.R.D.C.T.	DEED RECORDS OF DALLAS COUNTY, TEXAS
M.R.D.C.T.	MAP RECORDS OF DALLAS COUNTY, TEXAS
SQ.FT.	SQUARE FEET
VOL.	VOLUME
R.O.W.	RIGHT OF WAY
PG.	PAGE
INST.	INSTRUMENT
NO.	NUMBER
IRF	IRON ROD FOUND
SIR	SET 1/2" IRON ROD WITH YELLOW CAP STAMPED "GEONAV"
WV	WATER VALVE
PP	POWER POLE
STMH	STORM SEWER MANHOLE
TPED	TELEPHONE PEDESTAL
FH	FIRE HYDRANT
WM	WATER METER
SSMH	SANITARY SEWER MANHOLE
MB	MAIL BOX
GW	GUY WIRE
RCP	REINFORCED CONCRETE PIPE
CMP	CORRIGATED METAL PIPE
GPLS	GAS PIPELINE SIGN

To: _____

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1,2,3,4,5(a),5(b),7(a),8,9,10(a),11,13,16, and 19 of Table A thereof. The fieldwork was completed on _____

Date of Plat or Map: June 17, 2021

Joel C. Howard
Texas RPLS No. 6267



**ALTA/NSPS SURVEY
OF
111.606 ACRES
CITY OF GLENN HEIGHTS
DALLAS COUNTY, TEXAS
WILLIAM RAWLINGS SURVEY
ABSTRACT NO. 1205**

DATED: 06/17/2021 DRAWN BY: LEO



3410 MIDCOURT RD., STE 110; CARROLLTON, TEXAS 75006
SCALE: 1"=200' (972)243-2409 PROJECT #2214
TBPLS FIRM NO. 10194205

PLANNED DEVELOPMENT DISTRICT REGULATIONS

Valencia Estates

**South East Corner of Bear Creek and Westmoreland
City of Glenn Heights, Texas.**

March 2025

PURPOSE:

Proposed The Planned Development district is a mixed-use development located at the South East corner of South Westmoreland comprised of 112.16 acres.

The site is currently zoned as PD for apartments, townhouses, and single family on partially platted vacant land.

The intent of this PD is to replace the townhouse portion of the existing PD with single family, and to revise to the single family street configurations.

GENERAL CONDITIONS:

All proposed development shall match the basic Comprehensive Zoning Ordinance of the City of Glenn Heights except special provisions mentioned in the PD regulation. Regulations which are not mentioned but applicable for general development purposes to be followed according to the City of Glenn Heights Code of Ordinances.

This planned Development District shall not affect any regulations within the Code of Ordinances, except as specifically provided herein. All regulations not specifically defined in this PD will be subject to the City of Glenn Heights Code of Ordinances.

In the event of a conflict or inconsistency between the written provisions of the enabling Ordinance of these Regulations and the provisions of the City of Glenn Heights' Comprehensive Zoning Ordinance, the provisions and intent of the enabling Ordinance No. _____ shall prevail.

ALLOCATION OF LAND USES:

Proposed Planned development over 111.60 acres accommodates following development types:

1. Single Family Zoning District-SF-3 with 9,000 sq. ft. lots
2. Single Family Zoning District SF-3 with 5,500 sq. ft. lots
3. Multifamily Zoning District -MF

The Single Family development will be constructed in two (2) phases. The Multifamily development can occur as soon as all required infrastructure (streets, water, wastewater, and drainage facilities) have been constructed, inspected, and accepted by the city.

All proposed development shall match the basic Comprehensive Zoning Ordinance of the City of Glenn Heights.

List of PD Zoning Districts by Use:

Land Use	Land Area (approx.) In Acres	Minimum Dwelling Unit Size/sq.ft	Number of Lots/Units	% of Land Area
Single Family Zoning District SF-3 (9,000 sq. ft. lots)	88.33 total single family	1,800	71	80.1%
Single Family Zoning District SF-3 (5,500 sq. ft. lots)	88.33 total single family	1,500	326	80.1%
Multifamily Zoning District	21.95	See details in Multifamily District	Maximum of 400	19.9%

Both the Single Family development and the Multifamily development shall include a minimum of 15 percent Parks/Green Space/Pond areas.

SINGLE FAMILY ZONING DISTRICT

Single Family Zoning District is proposed on 89.33 acres Located east and south of the Multifamily District starting from S. Westmoreland Drive at the West and ending along the property line with Maple Wood subdivision at the East

There are two street connections proposed from S. Westmoreland Road and two street connections proposed to W. Bear Creek Road There is an existing natural water body meandering through the property. Park, amenities like gazebo, Kids’ Playground and sitting place, 8’ wide waking trail and parking is proposed under this development.

Planned Development – Single Family District SF-3 -(Minimum 9,000 sq. ft. lots)	
<i>Lot Configuration</i>	
Minimum Lot Area	9,000 sq ft
Minimum Lot Width	60 ft (except for cul-de-sac lots)
Minimum Lot Depth	120 ft (except at cul-de-sac lots)
<i>Yard Requirements</i>	
Front Yard	20 ft
Side Yard	5 ft
Side Yard of Corner Lots	10 ft
Rear Yard	15 ft
<i>Others</i>	
Minimum Dwelling Unit Size	1,800 sq ft
Lot Coverage of Building Structure	50%
Height of Main Structure	35 ft
Height of Accessory Structures	15 ft
Trees	One 3” caliper tree in front yard Two 3” caliper trees in rear yard
Sod	Front, side, and rear yards

**Planned Development – Single Family District
SF-3 -(Minimum 5,500 sq. ft. lots)**

Lot Configuration	
Minimum Lot Area	5,500 sq ft
Minimum Lot Width	50 ft (except for cul-de-sac lots)
Minimum Lot Depth	100 ft (except for cul-de-sac lots)
Yard Requirements	
Front Yard	20 ft
Side Yard	5'
Side Yard of Corner Lots	10'
Rear Yard	15'
Others	
Minimum Dwelling Unit Size	1,500 sq. ft
Lot Coverage of Building Structure	50%
Height of Main Structure	35 ft
Height of Accessory Structures	15 ft
Trees	One 3" caliper tree in front yard Two 3" caliper trees in rear yard
Sod	Front, side, and rear yards

1.00. SPECIAL CONDITIONS: SINGLE FAMILY DISTRICT:

- A. *Max. Number of Stories to be 2 with 35 ft maximum height.*
- B. *Number of single-family dwelling units per acre be from 5 to 8 units.*
- C. *All homes are front accessed with Front-loading covered parking garage inside the building.*
- D. *Min. 18' concrete driveway for each dwelling units.*
- E. *Required 20 ft garage setback and 20 ft front building setback for each dwelling units.*
- F. *A community park with gazebo, kids' playground and accessories like bench, trash containers to be built on provided open space area. See Exhibit F for benches and trash containers. See Exhibit G for gazebo/canopy structure. See Exhibit H for type of playground equipment. Separate playground equipment shall be installed for different age groups.*
- G. *USPS (United States Postal Service) approved mailboxes on decorative post to be installed at the back of the curb. See Exhibit E.*
- H. *Parking to be provided with 15 min. parking time limit sign to be posted to facilitate mailpickup and drop off.*
- I. *A Home Owner's association (HOA) to be established by the developer and it's operation to be to handed over to Home owners once minimum 50% of homes are sold and occupied.HOA should maintain all Landscape, Hardscape, Green area/park after developer transfer the responsibility to HOA.*
- J. *Small shrubs and Ornamental small tree to be planted and maintained by the developer and HOA to take over the maintenance after transferring authority to HOA association.*
- K. *At least four different Building Elevations to be used and none of the floor plan can be repeated next to each other and exact opposite to the other side of the street.*
- L. *No alleys shall be required within this District, and all homes shall be front entry.*
- M. *Lots which back or side facing into parks shall provide a 8' wood fence of uniform design and to be installed by the homebuilder.*
- N. *Amenity building: See Multifamily Development District.*

1.01. Entry Feature-

Monument signs with Single Family Development name and logo to be installed at both entrances from S. Westmoreland Road and the boulevard entrance from W. Bear Creek Road. See Exhibit B. Monument signs must comply with the City of Glenn Heights monument sign regulations.

All entry features shall have separate transformer for lightning the sign at night. Landscaping to be provided around entry features. Individual irrigation meter and pvc conduits across the driveway to be installed. HOA to maintain the entry monuments signs, landscaping, irrigation system, and pay the cost of electricity and water.

1.02. Street Name and sign-

Decorative Street Sign on round post to be installed at the crossing of streets. Stop sign to be installed on minor streets as per City standard. See Exhibit C.

1.03. Street Light-

All proposed street light shall be decorated Street Light fixture by Brandon Industries, equivalent alternative or ONCOR recommended street light. Street Light to be installed at all road crossing and at every 200ft interval.

All lights have to be 55-W equivalent Led light with 3000K or above brightness. See Exhibit D.

For Single Family development, street light category CL7-AMG, CL6-AG or equivalent to be installed.

1.04. Maintenance of the Park/Common Areas, Detention Ponds, and Drainage Creeks

Maintenance of the park/common areas will be the responsibility of the homeowners' association (HOA) of the single family development.

Until 50% lots are developed and tenants are occupied, Developer will be the contact entity with the City for all concerns regarding maintenance of park and open space until HOA control is turned over to the homeowners.

HOA maintenance and responsibilities of amenities include:

- Periodic Clean up and litter removal.
- Landscaping installation, care, and maintenance.
- Maintain common area and park by periodic grass cutting and trash removal.
- Irrigation system Maintenance, repair and pay for the meter and water usage.
- Maintain benches, trash cans, gazebo, cluster mail box units placed at the Common areas. See Exhibit E.
- Maintain and pay for the electricity used for the lighting at the entry feature.

2.0. GENERAL DESIGN STANDARDS:

2.01. Building Permits-

All development of and construction within the Planned Development will be subject to obtaining building permits from the City of Glenn Heights and satisfy all city design criteria and standards.

2.02. District Size-

There are 89.93 acres as shown in the single family development.

2.03. Density-

The maximum density for the single-family development shall be 5 lots per acre.

2.04. Unit Floor Area-

Single-family Development consists of individual single-family homes with wide ranges of sizes and designs. The minimum size of each home shall be 1,500 sq.ft. For lots with an area less than 9,000 sq.ft. The minimum size of each home shall be 1,800 sq.ft. For lots with an area of 9,000 sq.ft. and larger. There is no maximum dwelling size.

2.05. Roof -

Single-family Development consists of individual single-family homes with high pitch roof (minimum roof pitch of 8:12) on primary pitches

2.07. Maximum Lot Coverage-

A maximum lot coverage of 50% shall be allowed for each individual lots.

2.08. Parking-

Private- At least two garage parking inside the home shall be provided. A min. 20' building and garage setback would allow two cars parked outside on the driveway. On street parking on either side of the road would be allowed.

Public Parking- Public parking is provided along the park and amenities area. No overnight parking to be allowed on any public parking area.

2.09. Sidewalks-

All private sidewalks to be built as part of the individual lot development. The minimum width of any private sidewalk shall be four (4') feet inside the residential area. All public sidewalk including sidewalk connecting all parks and amenities and other development to be built with the single-family development. All public sidewalks within any street right-of-way shall have a minimum width of 5 feet.

2.10. Minimum Exterior Construction Standards-

All exterior wall elevations of each primary structure shall consist of sixty percent (60%) masonry material which include brick, stone, granite or marble, stucco; excluding doors and windows and balconies. Siding may consist of no more than forty percent (40%) of all exterior wall elevations.

2.11 Transformer Screening-

Transformers to be placed inside proposed 10 ft Utility Easement at the front of the property. Transformer to be placed along the common property line between two homes such that it's location doesn't interfere with proposed driveways. All transformers to be screened with 4' evergreen shrubs.

2.12 Fencing & Screening-

All fencing within the single family development shall be a cedar wood fence with metal post on every 10 ft. (or less) with a maximum height of 8 feet.

3.0 Landscape and Irrigation Requirements-

3.01 Landscape requirements-

A separate Landscape plan to be provided for City review. Native and drought tolerant plants will be planted per approved Glenn Heights plant List. However, evergreen shrubs and evergreen trees are highly preferred in the front-yard. A minimum of one 3 inch caliper tree to be planted in the front yard and two inch caliper trees in the backyard. A single tree in the front yard shall be an evergreen tree. Any other trees in the front can be any other tree if more than one tree is planted in the front yard.

Evergreen Conical trees such as Eastern Red Ceder, Arizona Cypress, Juniper, Colorado Blue Spruce are preferred.

3.02. Irrigation-

An automatic irrigation system is required for each residence.

4.00. Site Plan Approval-

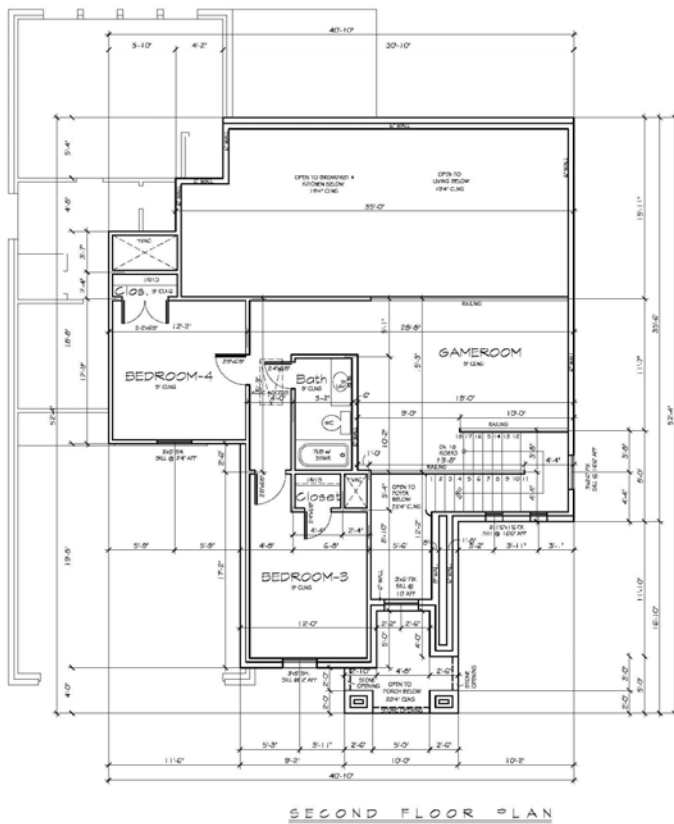
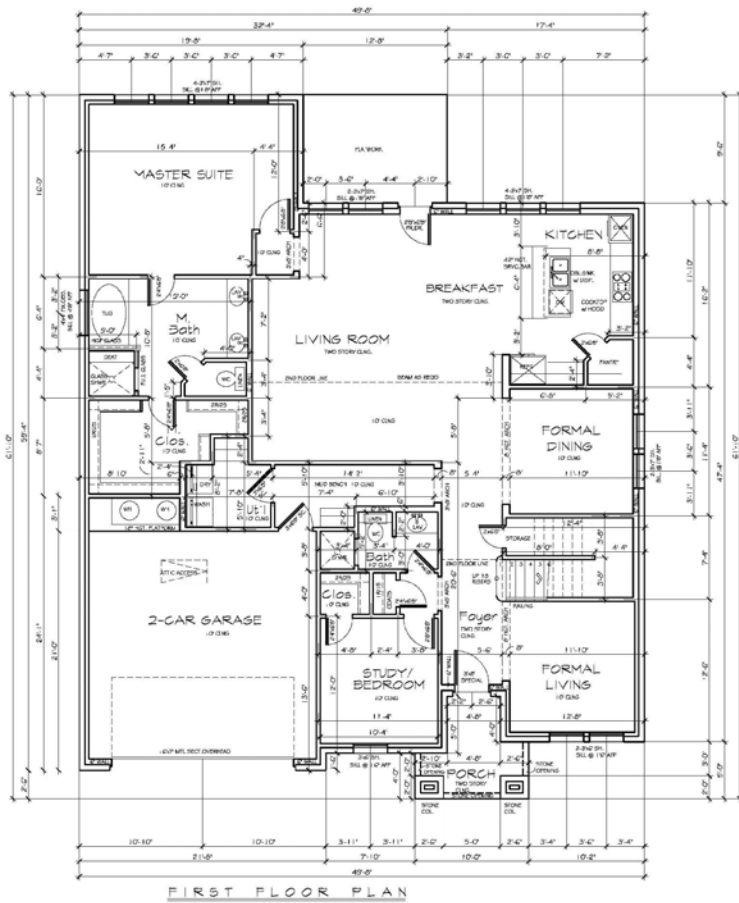
No further Site Plan approval will be required as long as the concept and functionality of the Site plan as shown on the SINGLE FAMILY concept plan is followed.

Anticipated Single Family Elevation



Example Single Family plans and Elevations





MULTIFAMILY ZONING DISTRICT

Proposed multifamily development is located on the same parcel of land as it was part of PD 6 before. It has connection form the Bear Creek Driveway and proposed Townhome development at East and to two-way divided driveway at South. It has access to the park and amenities proposed on residential development.

Proposed Multifamily development on 21.28 acres of land includes 3 stories apartment buildings with with a one story office/clubhouse building . The maximum number of apartment units shall be 400.

1. GENERAL DESIGN STANDARDS:

1.01. *Building Permits-*

All development of and construction within the Planned Development will be subject to obtaining building permits from the City of Glenn Heights and satisfy all city design criteria and standards.

1.02. *District Size-*

There are 22.22 acres in the MULTIFAMILY district

1.03. *Density-*

The maximum number of apartment units shall be 400 (or a density of approximately 18.8 units per acre.

1.04. *Permitting-*

Multifamily Development may developed as soon as the infrastructure for the single family development is complete.

Pond, Open space and Parks on Multifamily district can be developed as part of the Single Family District Development. and to be maintained by respective HOA until Multifamily district is developed and responsibility is shared among all districts.

1.05. *Unit Floor Area –*

A Multifamily Development dwelling unit shall have a minimum square feet of floor area, excluding common corridors, basements, open and screened porches or decks, and garages as follows:

1. Studio units: 500 square feet.
2. One-bedroom units: 800 square feet.
3. Two-bedroom units: 950 square feet.
4. Three-bedroom units: 1,100 square feet

1.06 Minimum Lot Coverage –

There shall not be a minimum/maximum lot coverage as long as the MULTIFAMILY development standards are followed for the development.

1.07. Building Separation-

The minimum building separation shall be 20 feet unless as long as the MULTIFAMILY development standards are followed for the development.

1.08. Building Length-

There shall not be a minimum/maximum building length as long as the MULTIFAMILY concept plan is followed for development

1.09. Parking-

Parking regulations as provided shall apply to Multifamily Development as follows:

1. One (1) space per studio unit
2. Two (2) spaces per 1-bedroom unit
3. Two (2) spaces per 2-bedroom unit
4. Two and one half (2.5) spaces per 3-bedroom unit
5. One (1) space per 5 units for guest parking
6. Covered parking is not required but encouraged
7. Each standard off-street surface parking space shall be Nine feet by eighteen feet (9' x 20') to comply with the design standards

1.10. Amenity Center/Club House-

Proposed Multifamily development should have an amenity center that should be operated & maintained by the Apartment Office of maintenance.

1.10.A General Condition for Amenity Building:

- A. Amenity building with approximately 1,600 square feet to be built with Apartment complex.
- B. Scope and finish of the building should be consistent with community guidelines established in the PD. The exterior of the building should match with proposed Multifamily building.
- C. There has to be sidewalks surrounding the Amenity Center to provide access from Each individual building.

- D. Amenity Center should have an outdoor space where several *USPS (United States Postal Service)* approved "Cluster Box Units" mail boxes with post mount to be placed. See Exhibit E.
- E. Building shall be maintained by the Multifamily District Management Office (MMO).
- F. Events, hours and rules shall be defined by the Multifamily District operational manual.
- G. Amenity building shall include:
 - (a) Swimming pool with accessories.
 - (b) Work out facility to include tread mills and other workout equipment.
 - (c) Two unisex half bathrooms.
 - (d) Children Play room area.
 - (e) Board Room meeting area.
 - (f) Meeting space for community events.
 - (g) Covered back patio area.
 - (h) Free Wi-Fi internet for clubhouse

1.11. Sidewalks-

The minimum width of any sidewalk shall be five feet (5'). A continuous sidewalk system to be built to access ant part of the development and also to the commercial, residential site and playground.

1.12. Minimum Exterior Construction Standards-

All exterior wall elevations of each primary structure shall consist of sixty percent (60%) masonry material which include brick, stone, granite or marble, stucco; excluding doors and windows and balconies. Siding may consist of no more than forty percent (40%) of all exterior wall elevations.

1.13. HVAC Screening-

All mechanical, heating, and air-conditioning units facing Public Street shall be hidden from public view. Landscape screening, preferably a 4' evergreen shrubs to be provided to cover all Mechanical equipment placed on the ground. Colling and heating unit can also be installed over the roof with access for repair.

1.14. Fencing & Screening-

Decorative wrought Iron fence, matching with other phased development to be installed along the Property and/or along the creek boundary with push button combination lock on security gates provided for pedestrian ingress/egress. The minimum height of the fence shall be four (4) feet with a maximum height of six (6) feet.

Additional landscape screening with evergreen shrubs will be required along with decorative wrought Iron fence wherever Multifamily District boundary is adjacent to the Single Family district.

1.15. Refuse Facilities-

Depending on Final Design of Multifamily District layout, each proposed buildings requires at least one dumpster per building which has to be located at convenient place, screen with Masonry Wall and easily accessible from respective buildings. No dumpster to be faced towards W. Bear Creek Road.

1.16. Landscape Area Requirements-

All landscaping shall comply with the city landscaping requirements. A Landscape plan shall be provided for City review. Native and drought tolerant plants will be planted per approved Glenn Heights plant List. However, Evergreen shrubs and Evergreen trees are highly preferred. Evergreen Conical trees such as Eastern Red Ceder, Arizona Cypress, Juniper, Colorado Blue Spruce are preferred along with wrought iron fence abutting residential development and parks

1.17. Irrigation-

Automatic irrigation system to be installed with the development per City design standard.

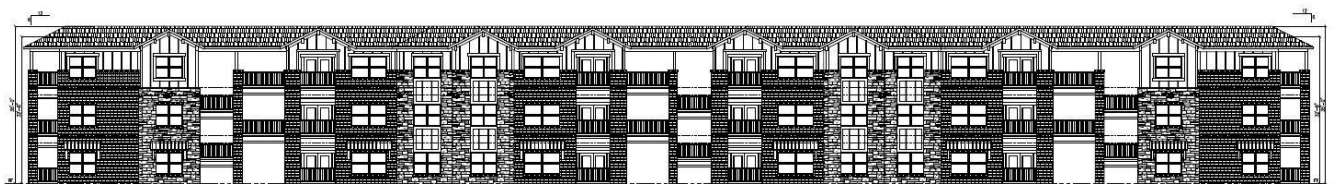
1.18. Park Space-

An open private park with Kids Playground to be constructed near the South East corner of the Zoning District which can be accessed by Single family residents and apartment dwellers. A minimum of 10 standard 9’x20’ parking spaces to be provided for residential dwellers to park next to the kids’ playground.

2.0. Site Plan Approval-

A detail site plan for the Multifamily Development shall be submitted for approval prior to submittal for a building permit. The site plan submittal shall include a site plan, landscape plan, and building elevations.

**Anticipated Multifamily Elevation:
Three Story Multifamily Shown in Elevation**



PARK/PLAYGROUND/GREEN OPEN SPACE/ POND

A min. of 15% area to be dedicated for Park/green Space/ Pond with Trail system. Maintenance of all Park/Green Space/Pond areas and all amenities within the areas shall be maintained by the apartment owners.

At a minimum, the Park/Green Space/Pond areas should include the following amenities:

- A. Playground equipment suitable to varying age groups
- B. Two (2) park benches
- C. Four (4) foot sidewalks
- D. Five (5) foot pedestrian walking trail
- E. Three (3) grills
- F. Two (2) picnic benches

The Park/Green Space/Pond areas shall be accessible from the single family development through a five (5) foot pedestrian walking trail system.

The location and orientation of parks and ponds may change to comply with City of Glenn Heights specifications, FEMA and USACE regulations and restrictions.

Exhibit B: Monument Sign (Example)



Exhibit C: Street Sign and Post



(Example Picture shows Street Sign by Brandon Industries)

Exhibit D: Street Light

ONCOR Approved LED Street Light Fixture



TSN 475238 Rev. 01/08 Copyright 2008 Oncor Electric Delivery. All Rights Reserved.

Brandon Industries LED Street Light Fixture



CL7-AMG

CL6-AG

CL8-H-02

Exhibit E: Decorative Mail Boxes
(Example Picture shows Mail Box by Brandon Industries)

**Post mounted Decorative Mail Box
for Single-Family District**



**Clustered Decorative Mail Box for
Townhome and Multifamily District**



**Clustered Decorative Mail Box under covered canopy
(Townhome and Multifamily District)**



Exhibit F: Bench/Trash Can

(Example Picture shows Trash Can and Bench by SITESCAPES)

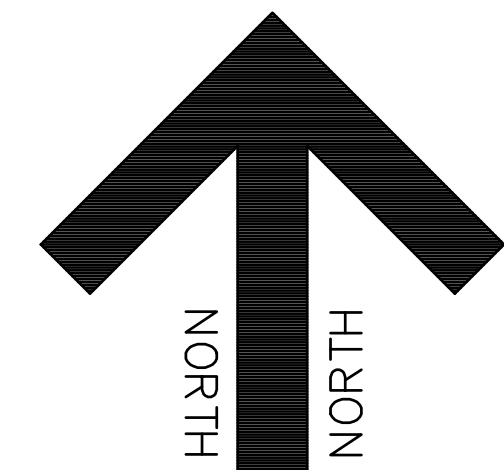
Trash Container	Benches
	

Exhibit G: Canopy



Exhibit H: Kids' Playground





SCALE: 1" = 140'
 0' 140 280 420
 GRAPHIC SCALE



LOCATION MAP

LAND AREA TABULATION

TOTAL LAND AREA (GROSS)	112.23 ACRES
ROW DEDICATION BEAR CREEK ROAD	0.93 ACRES
ROW DEDICATION WESTMORELAND ROAD	0.95 ACRES
LAND AREA NET OF ROW DEDICATION	110.35 ACRES
LAND AREA OF SINGLE FAMILY (NET ROW DED.)	88.40 ACRES
LAND AREA OF APARTMENTS (NET ROW DED.)	21.95 ACRES

COLOR	PROPOSED LAND USE	NO. OF LOTS/UNITS	
Yellow	SINGLE FAMILY	≥ 9,000 SQ FT	69
		6,000-9,000 SQ FT	53
		5,500-5,999 SQ. FT.	280
Blue	MULTIFAMILY	400 MAXIMUM	

PROPOSED LAND USE DISTRICT	BASE ZONING DISTRICT	TOTAL APPROX. LAND AREA (INCLUDING OPEN SPACE)*	APPROX. OPEN/PARK SPACE (% OF AREA)	OPEN/PARK SPACE (MIN. REQUIRED)	MAXIMUM ALLOWABLE DENSITY (UNITS/ACRE)
DISTRICT 1 SINGLE FAMILY RESIDENTIAL	SF-3 SINGLE FAMILY RESIDENTIAL-3	88.33 ACRES *	14.18 ACRES (16.0%)	15%	5
DISTRICT 2 MULTIFAMILY RESIDENTIAL	MF/MULTIFAMILY RESIDENTIAL	21.95 ACRES *	NA	15%	18

* AREA IS DEVELOPABLE AREA (NET OF S. WESTMORELAND ROAD AND W. BEAR CREEK ROAD ROW DEDICATIONS). THESE AREAS DO INCLUDE ALL STREET ROW DEDICATIONS WITHIN THE DEVELOPMENT.

LEGEND

- SINGLE FAMILY LOTS
- OPEN SPACE/PARK AREAS
- APARTMENT ZONING DISTRICT

- NOTES:
1. Drainage/Flood study will be done during details engineering submittal
 2. A traffic impact analysis will be provided based on proposed density during details engineering submittal.
 3. A Concept/Site Plan for the apartments must be submitted for approval prior to permitting.

REVISIONS:	
4-21-25	REVISE STREET B
5-4-25	REVISE STREET C
5-7-25	REVISE TOTAL AREA

OWNER/DEVELOPER
MARWAN & WAFI SONS, LLC
 6505 SUDBURY ROAD
 PLANO, TEXAS 75024
 CONTACT: DAWOOD JAMEEL
 TEL: 469-435-5656
 email: djameel123@yahoo.com

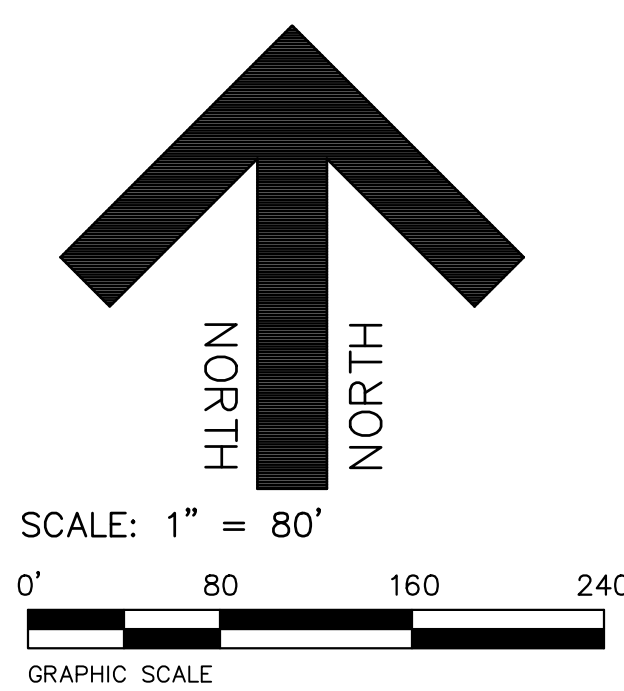
SHEET TITLE:

EXHIBIT C: CONCEPT PLAN
VALENCIA ESTATES
 SOUTH EAST CORNER OF S WESTMORELAND ROAD
 AND BEAR CREEK ROAD
 CITY OF GLENN HEIGHTS, TEXAS

JDJR PREPARED BY:
ENGINEERS & CONSULTANTS, INC.
 TSBP REGISTRATION NUMBER F-8527

ENGINEERS • SURVEYORS • LAND PLANNERS
 2500 Texas Drive Suite 100 Irving, Texas 75062
 Tel 972-252-5357 Fax 972-252-8958

DATE: JAN. 2025	DRAWN BY: JDJR	SHEET NO.
SCALE: 1" = 140'	CHECKED BY: JDJR	1 OF 4



LAND AREA TABULATION

TOTAL LAND AREA (GROSS) _____ 112.23 ACRES
 ROW DEDICATION BEAR CREEK ROAD _____ 0.93 ACRES
 ROW DEDICATION WESTMORELAND ROAD _____ 0.95 ACRES
 LAND AREA NET OF ROW DEDICATION _____ 110.35 ACRES
 LAND AREA OF SINGLE FAMILY (NET ROW DED.) _____ 88.40 ACRES
 LAND AREA OF APARTMENTS (NET ROW DED.) _____ 21.95 ACRES

COLOR	PROPOSED LAND USE	NO. OF LOTS/UNITS	
[Light Brown Box]	SINGLE FAMILY	≥ 9,000 SQ FT	69
		6,000-9,000 SQ FT	53
		5,500-5,999 SQ. FT.	280
[Light Blue Box]	MULTIFAMILY	400 MAXIMUM	

PROPOSED LAND USE DISTRICT	BASE ZONING DISTRICT	TOTAL APPROX. LAND AREA (INCLUDING OPEN SPACE)*	APPROX. OPEN/PARK SPACE (% OF AREA)	OPEN/PARK SPACE (MIN. REQUIRED)	MAXIMUM ALLOWABLE DENSITY (UNITS/ACRE)
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LEGEND

- [Light Brown Box] SINGLE FAMILY LOTS
- [Light Green Box] OPEN SPACE/PARK AREAS
- [Light Blue Box] APARTMENT ZONING DISTRICT

- NOTES:**
1. Drainage/Flood study will be done during details engineering submittal
 2. A traffic impact analysis will be provided based on proposed density during details engineering submittal.
 3. A Concept/Site Plan for the apartments must be submitted for approval prior to permitting.

REVISIONS:

4-21-25	REVISE STREET B
5-4-25	REVISE STREET C
5-7-25	REVISE TOTAL AREA

SHEET TITLE:
EXHIBIT C: CONCEPT PLAN
VALENCIA ESTATES
 SOUTH EAST CORNER OF S WESTMORELAND ROAD
 AND BEAR CREEK ROAD
 CITY OF GLENN HEIGHTS, TEXAS

PREPARED BY:
JDJR ENGINEERS & CONSULTANTS, INC.
 TSBPE REGISTRATION NUMBER F-8527

ENGINEERS • SURVEYORS • LAND PLANNERS
 2500 Texas Drive Suite 100 Irving, Texas 75062
 Tel 972-252-5357 Fax 972-252-8958

DATE: JAN. 2025	DRAWN BY: JDJR	SHEET NO.
SCALE: 1" = 80'	CHECKED BY: JDJR	2 OF 4

OWNER/DEVELOPER
 MARWAN & Wafa SONS, LLC
 6505 SUDBURY ROAD
 PLANO, TEXAS 75024
 CONTACT: DAWOOD JAMEEL
 TEL: 469-435-5656
 email: djameel123@yahoo.com

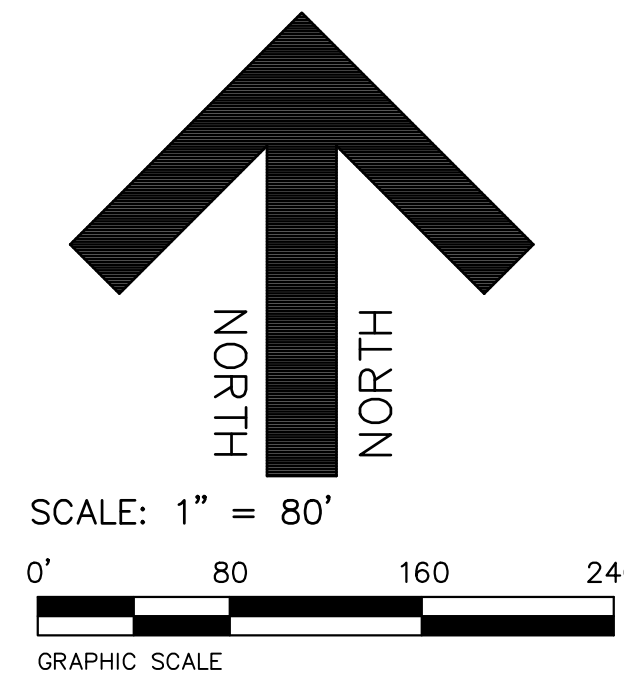


ROGERICK R. JOHNSON
 AND MANIVONE WISOMBATH
 INST. NO. 202100044641
 O.P.R.D.C.T.

ERIC O. GOMEZ AND WIFE,
 OLIVAMA GOMEZ
 INST. NO. 202000173147
 O.P.R.D.C.T.

REPLAT OF MEADOW SPRINGS
 PHASE 2
 INST. NO. 1201700217137
 O.P.R.D.C.T.

C:\D:\proj\2025\1069 Damood Jameel\1069-31-24 Glenn Heights\City\1069-31-24 Project Layout.dwg, CONCEPT PLAN SH 2, 5/7/2025 2:19:46 PM



LAND AREA TABULATION

TOTAL LAND AREA (GROSS) _____ 112.23 ACRES
 ROW DEDICATION BEAR CREEK ROAD _____ 0.93 ACRES
 ROW DEDICATION WESTMORELAND ROAD _____ 0.95 ACRES
 LAND AREA NET OF ROW DEDICATION _____ 110.35 ACRES
 LAND AREA OF SINGLE FAMILY (NET ROW DED.) _____ 88.40 ACRES
 LAND AREA OF APARTMENTS (NET ROW DED.) _____ 21.95 ACRES

COLOR	PROPOSED LAND USE	NO. OF LOTS/UNITS	
[Yellow]	SINGLE FAMILY	≥ 9,000 SQ FT	69
		6,000-9,000 SQ FT	53
		5,500-5,999 SQ. FT.	280
[Blue]	MULTIFAMILY	400 MAXIMUM	

PROPOSED LAND USE DISTRICT	BASE ZONING DISTRICT	TOTAL APPROX. LAND AREA (INCLUDING OPEN SPACE)*	APPROX. OPEN/PARK SPACE (% OF AREA)	OPEN/PARK SPACE (MIN. REQUIRED)	MAXIMUM ALLOWABLE DENSITY (UNITS/ACRE)
DISTRICT 1 SINGLE FAMILY RESIDENTIAL	SF-3 SINGLE FAMILY RESIDENTIAL-3	88.33 ACRES *	14.18 ACRES (16.0%)	15%	5
DISTRICT 2 MULTIFAMILY RESIDENTIAL	MF/MULTIFAMILY RESIDENTIAL	21.95 ACRES *	NA	15%	18

* AREA IS DEVELOPABLE AREA (NET OF S. WESTMORELAND ROAD AND W. BEAR CREEK ROAD ROW DEDICATIONS). THESE AREAS DO INCLUDE ALL STREET ROW DEDICATIONS WITHIN THE DEVELOPMENT.

LEGEND

[Yellow]	SINGLE FAMILY LOTS
[Green]	OPEN SPACE/PARK AREAS
[Blue]	APARTMENT ZONING DISTRICT

- NOTES:**
1. Drainage/Flood study will be done during details engineering submittal
 2. A traffic impact analysis will be provided based on proposed density during details engineering submittal.
 3. A Concept/Site Plan for the apartments must be submitted for approval prior to permitting.

REVISIONS:

4-21-25	REVISE STREET B
5-4-25	REVISE STREET C
5-7-25	REVISE TOTAL AREA

OWNER/DEVELOPER

MARWAN & Wafa SONS, LLC
 6505 SUDBURY ROAD
 PLANO, TEXAS 75024
 CONTACT: DAWOOD JAMEEL
 TEL: 469-435-5656
 email: djameel123@yahoo.com

SHEET TITLE:

EXHIBIT C: CONCEPT PLAN
VALENCIA ESTATES
 SOUTH EAST CORNER OF S WESTMORELAND ROAD
 AND BEAR CREEK ROAD
 CITY OF GLENN HEIGHTS, TEXAS

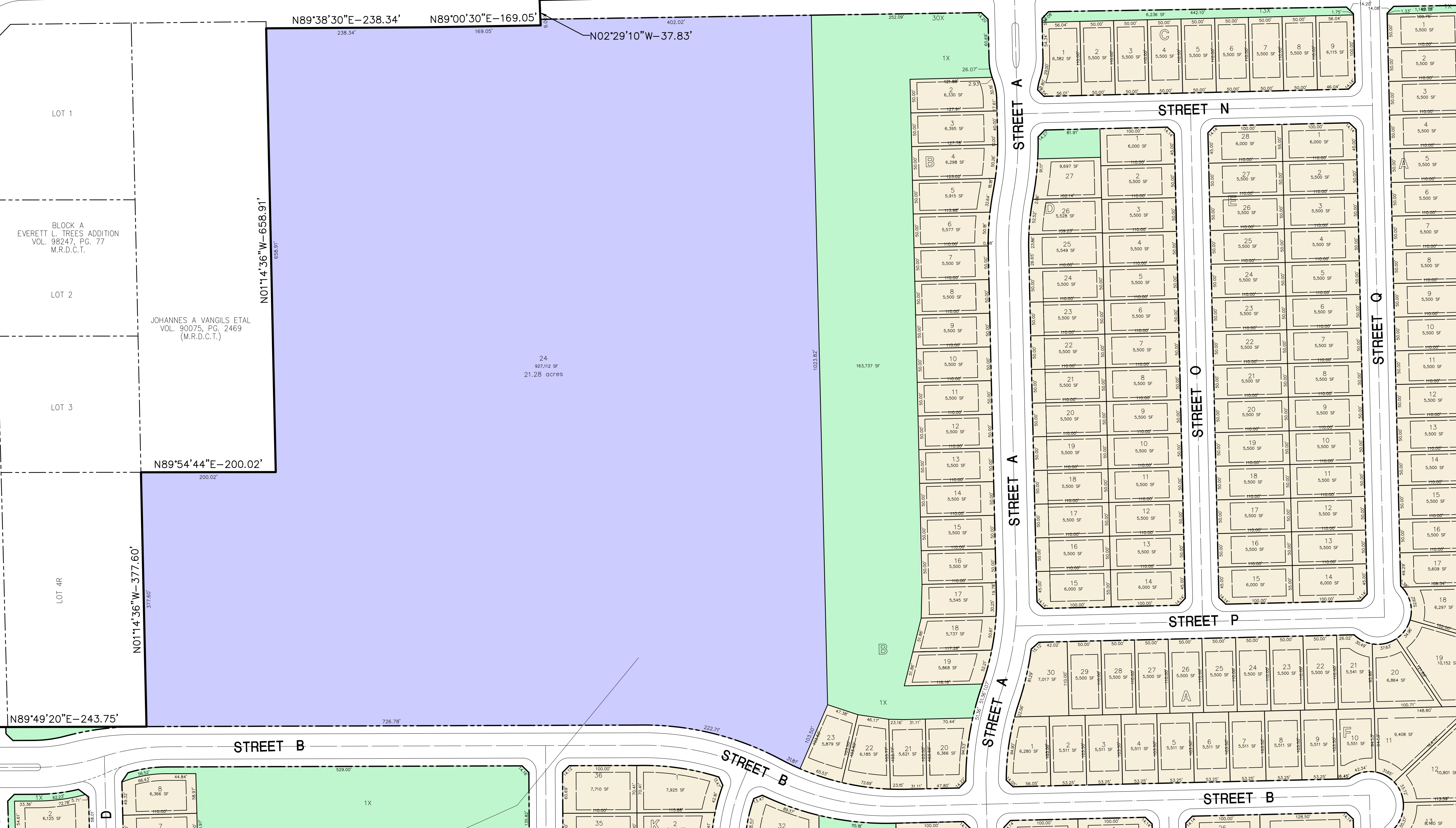
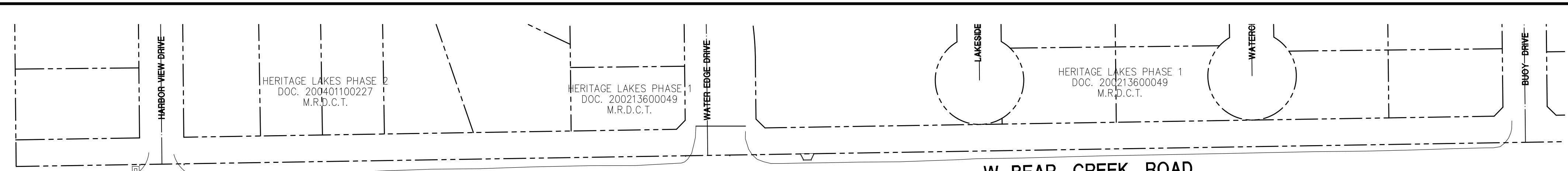
JDJR PREPARED BY:
ENGINEERS & CONSULTANTS, INC.
 TSBP REGISTRATION NUMBER F-8527

ENGINEERS • SURVEYORS • LAND PLANNERS
 2500 Texas Drive Suite 100 Irving, Texas 75062
 Tel 972-252-5357 Fax 972-252-8958

DATE: JAN. 2025	DRAWN BY: JDJR	SHEET NO.
SCALE: 1" = 80'	CHECKED BY: JDJR	3 OF 4

REPLAT OF MEADOW SPRINGS
 PHASE 2
 INST. NO. 201700217137
 O.P.R.D.C.T.

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LAND AREA TABULATION

TOTAL LAND AREA (GROSS)	112.23 ACRES
ROW DEDICATION BEAR CREEK ROAD	0.93 ACRES
ROW DEDICATION WESTMORELAND ROAD	0.95 ACRES
LAND AREA NET OF ROW DEDICATION	110.35 ACRES
LAND AREA OF SINGLE FAMILY (NET ROW DED.)	88.40 ACRES
LAND AREA OF APARTMENTS (NET ROW DED.)	21.95 ACRES

- NOTES:**
1. Drainage/Flood study will be done during details engineering submittal
 2. A traffic impact analysis will be provided based on proposed density during details engineering submittal.
 3. A Concept/Site Plan for the apartments must be submitted for approval prior to permitting.

COLOR	PROPOSED LAND USE	NO. OF LOTS/UNITS
[Light Green]	≥ 9,000 SQ FT	69
	6,000-9,000 SQ FT	53
	5,500-5,999 SQ. FT.	280
[Light Blue]	MULTIFAMILY	400 MAXIMUM

PROPOSED LAND USE DISTRICT	BASE ZONING DISTRICT	TOTAL APPROX. LAND AREA (INCLUDING OPEN SPACE)*	APPROX. OPEN/PARK SPACE (% OF AREA)	OPEN/PARK SPACE (MIN. REQUIRED)	MAXIMUM ALLOWABLE DENSITY (UNITS/ACRE)
DISTRICT 1 SINGLE FAMILY RESIDENTIAL	SF-3 SINGLE FAMILY RESIDENTIAL-3	88.33 ACRES *	14.18 ACRES (16.0%)	15%	5
DISTRICT 2 MULTIFAMILY RESIDENTIAL	MF/MULTIFAMILY RESIDENTIAL	21.95 ACRES *	NA	15%	18

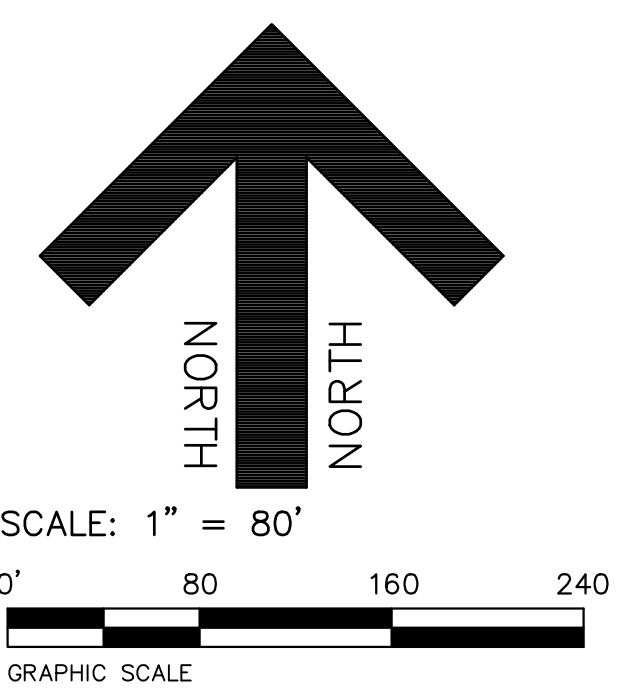
* AREA IS DEVELOPABLE AREA (NET OF S. WESTMORELAND ROAD AND W. BEAR CREEK ROAD ROW DEDICATIONS). THESE AREAS DO INCLUDE ALL STREET ROW DEDICATIONS WITHIN THE DEVELOPMENT.

LEGEND

- [Light Green] SINGLE FAMILY LOTS
- [Light Blue] APARTMENT ZONING DISTRICT
- [Light Green] OPEN SPACE/PARK AREAS WITHIN THE SINGLE FAMILY DEVELOPMENT

REVISIONS:

4-21-25	REVISE STREET B
5-4-25	REVISE STREET C
5-7-25	REVISE TOTAL AREA



SHEET TITLE:

EXHIBIT C: CONCEPT PLAN
VALENCIA ESTATES
 SOUTH EAST CORNER OF S WESTMORELAND ROAD
 AND BEAR CREEK ROAD
 CITY OF GLENN HEIGHTS, TEXAS

PREPARED BY:
JDJR
ENGINEERS & CONSULTANTS, INC.
 TSBP REGISTRATION NUMBER F-8527

ENGINEERS • SURVEYORS • LAND PLANNERS
 2500 Texas Drive Suite 100 Irving, Texas 75062
 Tel 972-252-5357 Fax 972-252-8958

DATE: JAN. 2025	DRAWN BY: JDJR	SHEET NO.
SCALE: 1" = 80'	CHECKED BY: JDJR	4 OF 4

THE MEADOWS ON BEAR CREEK ZONE CHANGE



PARVIZ R POURAZIZIAN
DIRECTOR OF PLANNING & DEVELOPMENT SERVICES

JUNE 02, 2025

ZONE CHANGE



Applicant: Maxwell Fisher

Location: 928 E Bear Creek Road

Request: Zone Change (SF-1 to Sf-3)

Acres: 15.52+/- Ac.

Zone: SF-1 to Sf-3

PRELIMINARY AND FINAL PLAT



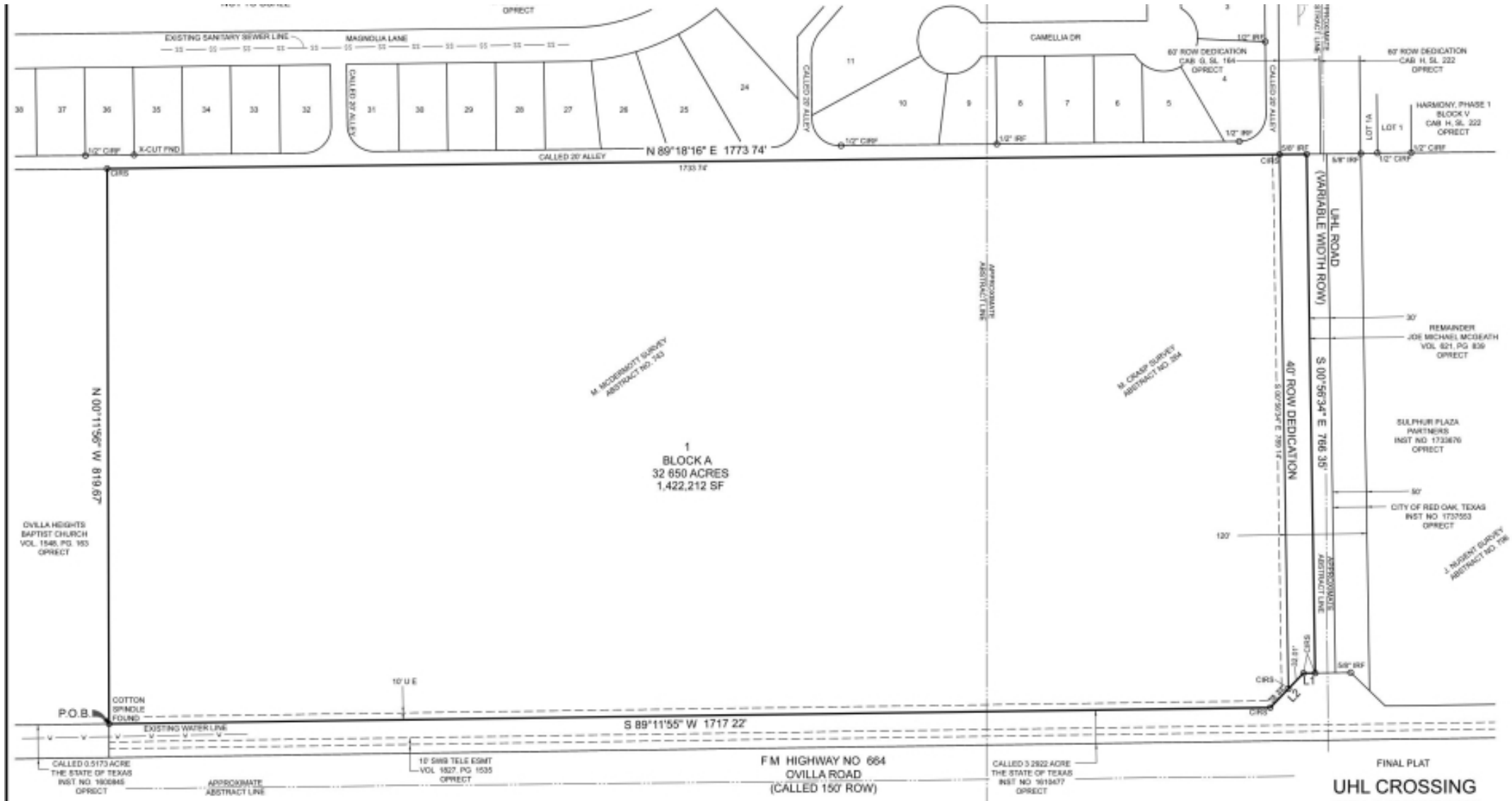
Public Hearing, Discuss and consider making a recommendation to the City Council of the City of Glenn Heights, Texas, related to granting a change in zoning from Single-Family Residential-1(SF-1) to Single-Family Residential-3 (SF-3) for approximately 15.52+/- acres of land situated in the John F. Porter survey, Abstract No. 1118, City of Glenn Heights, Dallas County, Texas (tract I), and lots 1 through 5 of block 1, lots 1 through 10 of block 2, and lots 1 through 7 of block 3, Phase One of the Meadows On Bear Creek, an Addition to the City of Glenn Heights, Dallas, Texas (tract II), Also commonly known as 928 East Bear Creek Road, Glenn Heights, Dallas County, Texas.

AERIAL VIEW



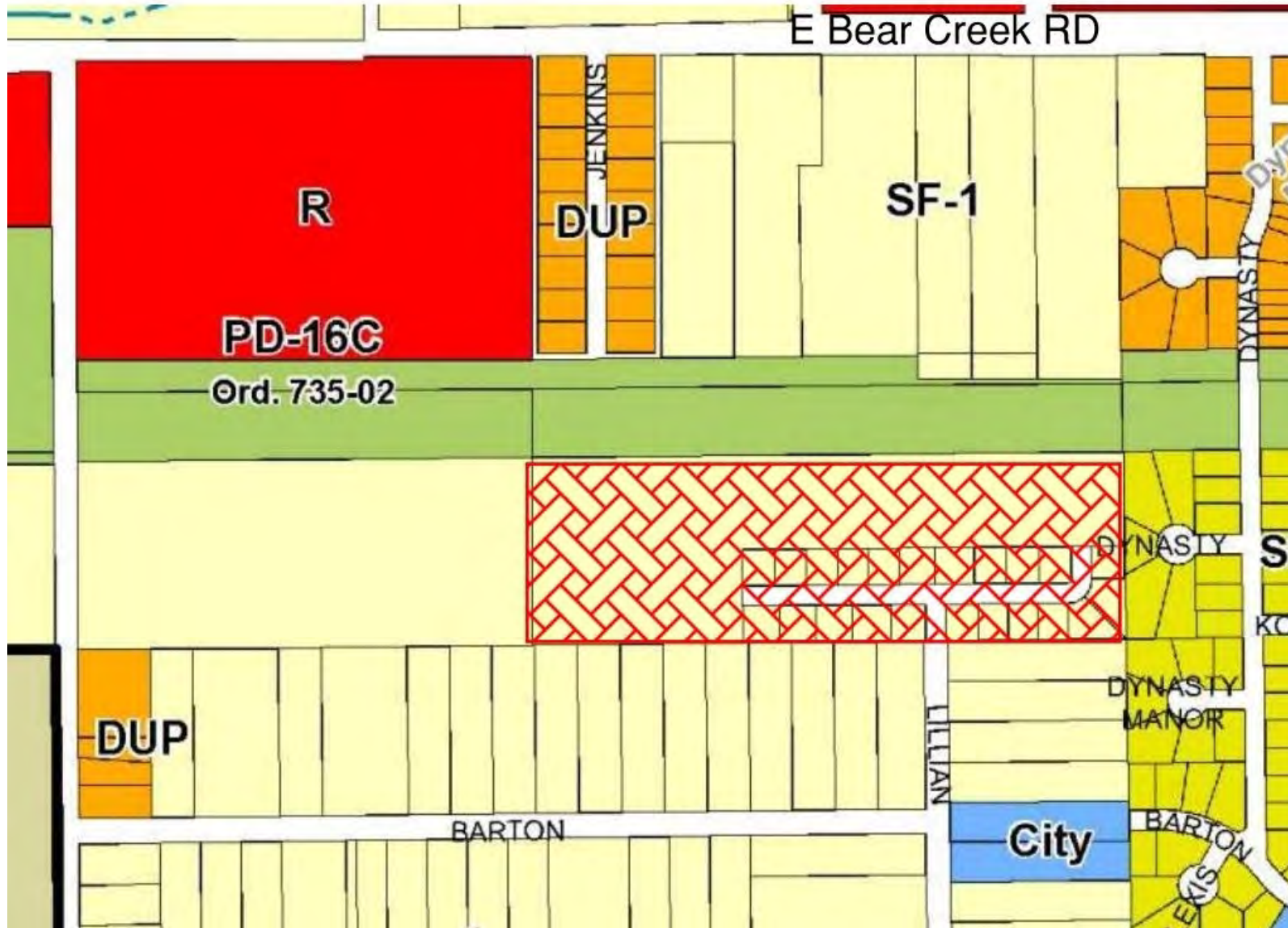


FINAL PLAT

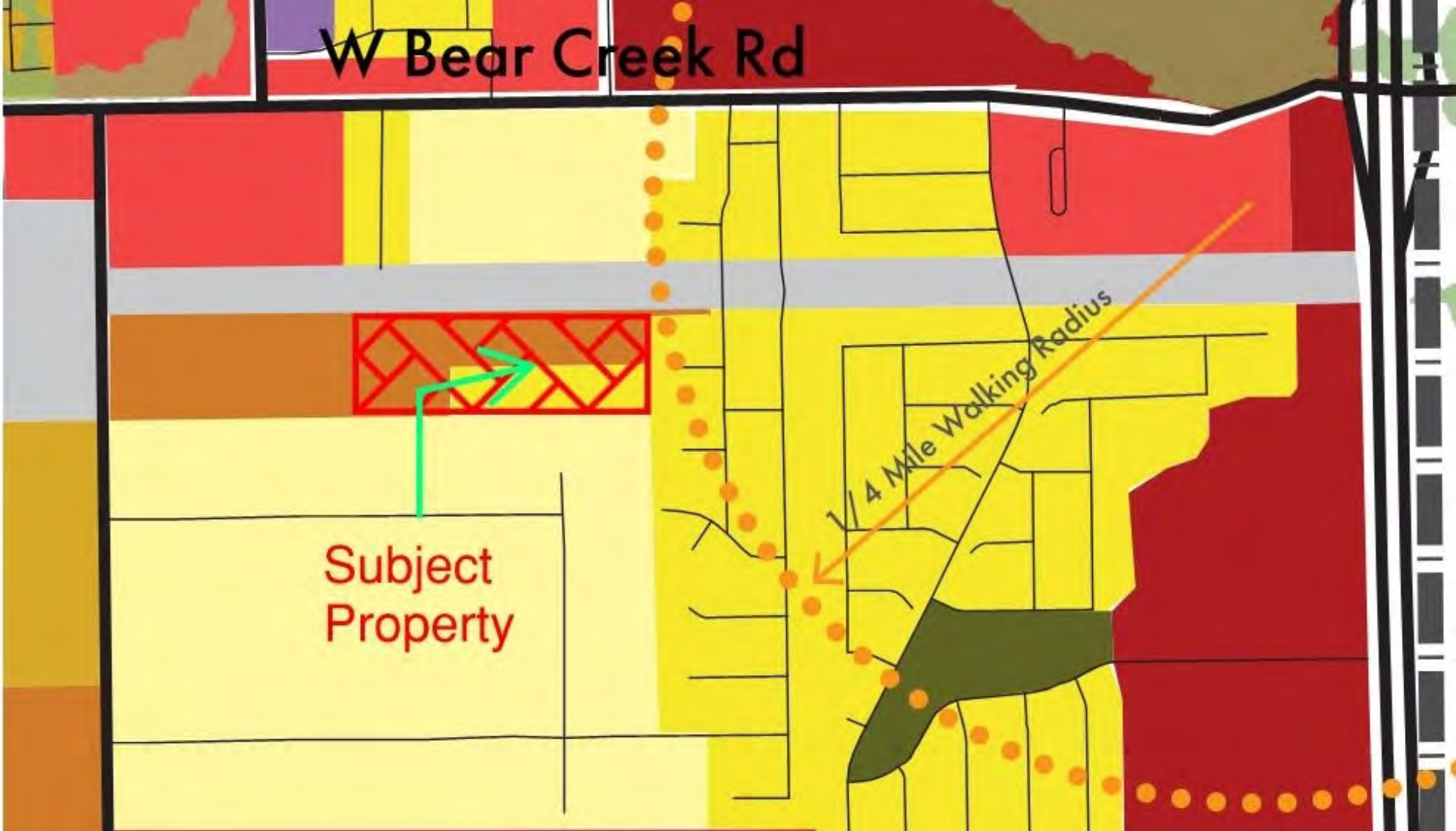




CURRENT ZONE

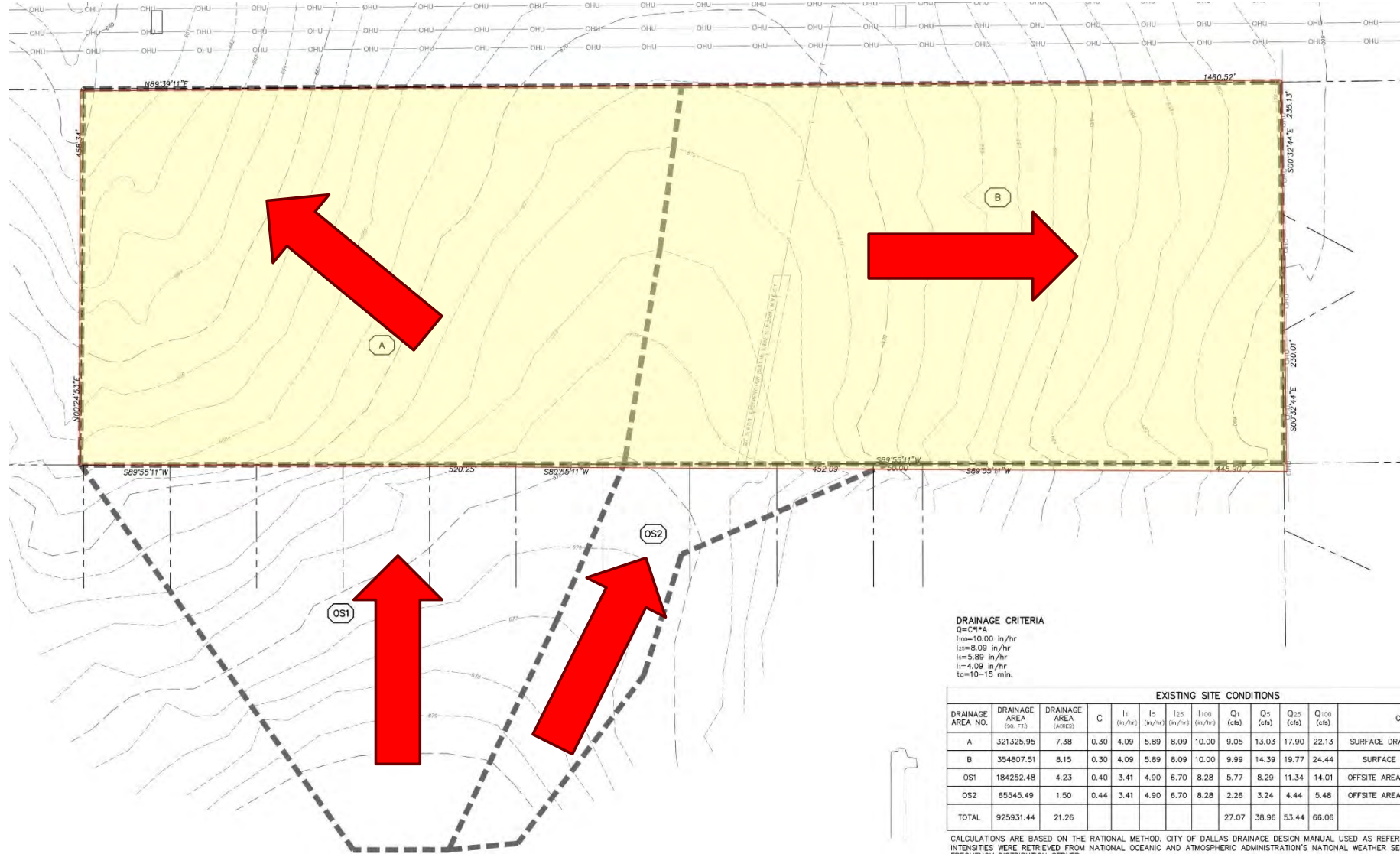


FUTURE LAND USE





EXISTING DRAINAGE PATTERN



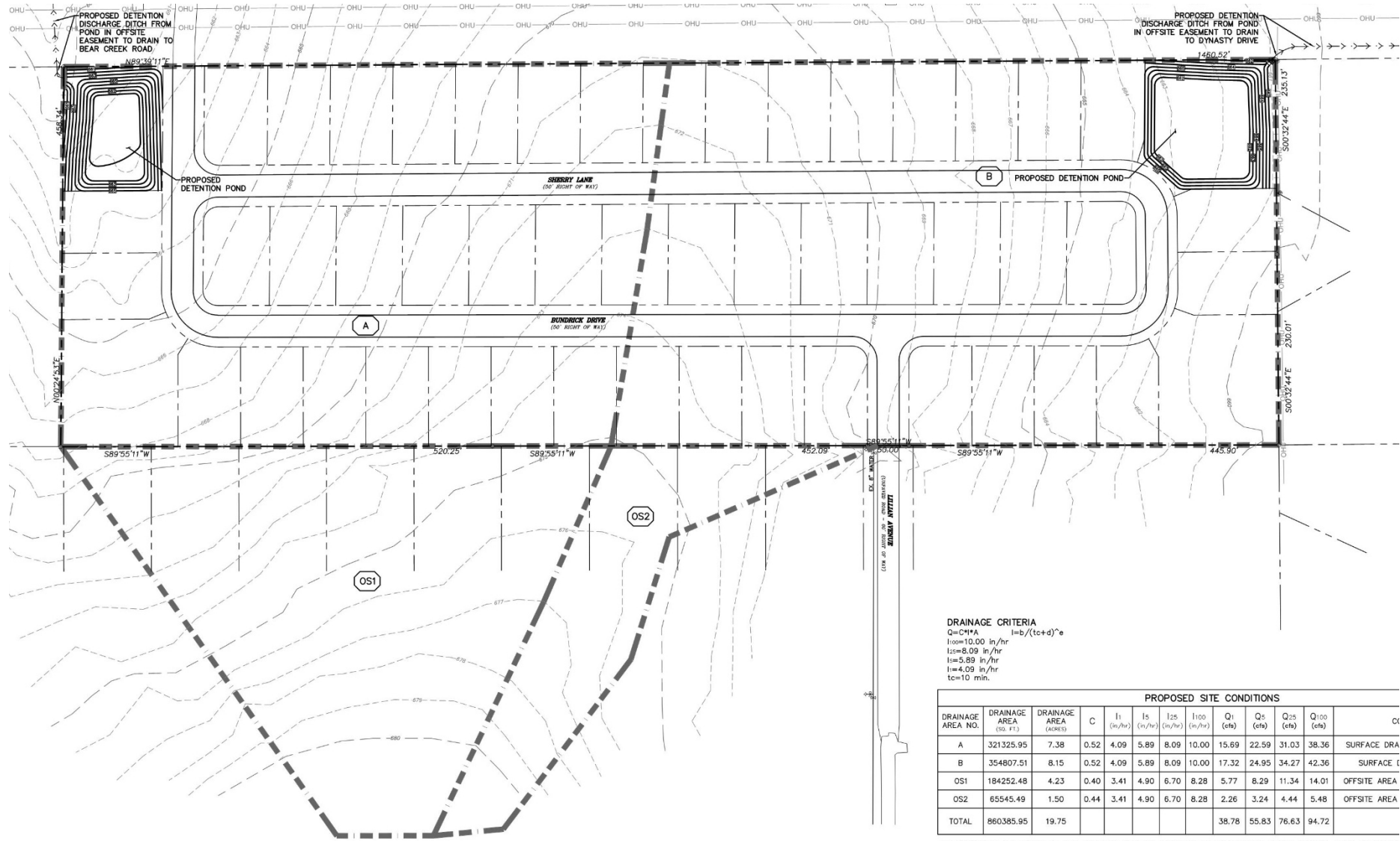
DRAINAGE CRITERIA
 $Q=C \cdot I \cdot A$
 $I_{100}=10.00 \text{ in/hr}$
 $I_{25}=8.09 \text{ in/hr}$
 $I_{10}=5.89 \text{ in/hr}$
 $I=4.09 \text{ in/hr}$
 $t_c=10-15 \text{ min.}$

DRAINAGE AREA NO.	DRAINAGE AREA (SQ. FT.)	DRAINAGE AREA (ACRES)	C	EXISTING SITE CONDITIONS							COM	
				I ₁ (in/hr)	I ₅ (in/hr)	I ₂₅ (in/hr)	I ₁₀₀ (in/hr)	Q ₁ (cfs)	Q ₅ (cfs)	Q ₂₅ (cfs)		Q ₁₀₀ (cfs)
A	321325.95	7.38	0.30	4.09	5.89	8.09	10.00	9.05	13.03	17.90	22.13	SURFACE DRAIN
B	354807.51	8.15	0.30	4.09	5.89	8.09	10.00	9.99	14.39	19.77	24.44	SURFACE DR
OS1	184252.48	4.23	0.40	3.41	4.90	6.70	8.28	5.77	8.29	11.34	14.01	OFFSITE AREA D
OS2	65545.49	1.50	0.44	3.41	4.90	6.70	8.28	2.26	3.24	4.44	5.48	OFFSITE AREA D
TOTAL	925931.44	21.26						27.07	38.98	53.44	68.06	

CALCULATIONS ARE BASED ON THE NATIONAL METHOD, CITY OF DALLAS DRAINAGE DESIGN MANUAL, USED AS REFERENCE. INTENSITIES WERE RETRIEVED FROM NATIONAL OCEANIC AND ATMOSPHERIC ADMINISTRATION'S NATIONAL WEATHER SERVICE FREQUENCY DISTRIBUTION SERVER.



LAYOUT



DRAINAGE CRITERIA
 $Q = C \cdot I \cdot A$ $I = b / (tc + d)^e$
 $I_{100} = 10.00 \text{ in/hr}$
 $I_{25} = 8.09 \text{ in/hr}$
 $I_5 = 5.89 \text{ in/hr}$
 $I_1 = 4.09 \text{ in/hr}$
 $tc = 10 \text{ min.}$

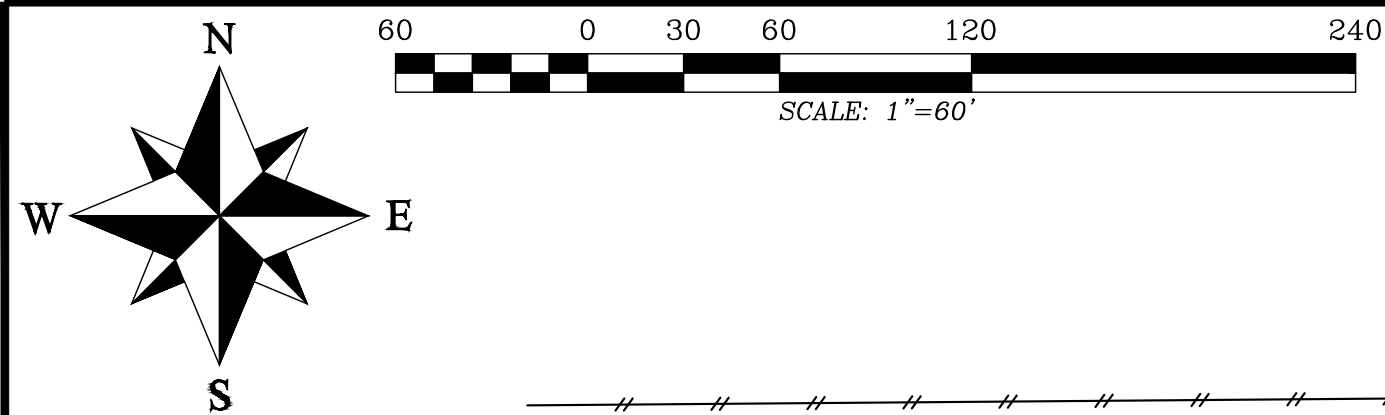
PROPOSED SITE CONDITIONS												
DRAINAGE AREA NO.	DRAINAGE AREA (SQ. FT.)	DRAINAGE AREA (ACRES)	C	I ₁ (in/hr)	I ₅ (in/hr)	I ₂₅ (in/hr)	I ₁₀₀ (in/hr)	Q ₁ (cfs)	Q ₅ (cfs)	Q ₂₅ (cfs)	Q ₁₀₀ (cfs)	CC
A	321325.95	7.38	0.52	4.09	5.89	8.09	10.00	15.69	22.59	31.03	38.36	SURFACE DRA
B	354807.51	8.15	0.52	4.09	5.89	8.09	10.00	17.32	24.95	34.27	42.36	SURFACE DRA
OS1	184252.48	4.23	0.40	3.41	4.90	6.70	8.28	5.77	8.29	11.34	14.01	OFFSITE AREA
OS2	65545.49	1.50	0.44	3.41	4.90	6.70	8.28	2.26	3.24	4.44	5.48	OFFSITE AREA
TOTAL	860385.95	19.75						38.78	55.83	76.63	94.72	

CALCULATIONS ARE BASED ON THE RATIONAL METHOD. CITY OF DALLAS DRAINAGE DESIGN MANUAL USED AS REFERENCE. INTENSITIES WERE RETRIEVED FROM NATIONAL OCEANIC AND ATMOSPHERIC ADMINISTRATION'S NATIONAL WEATHER SERVICE.

QUESTIONS

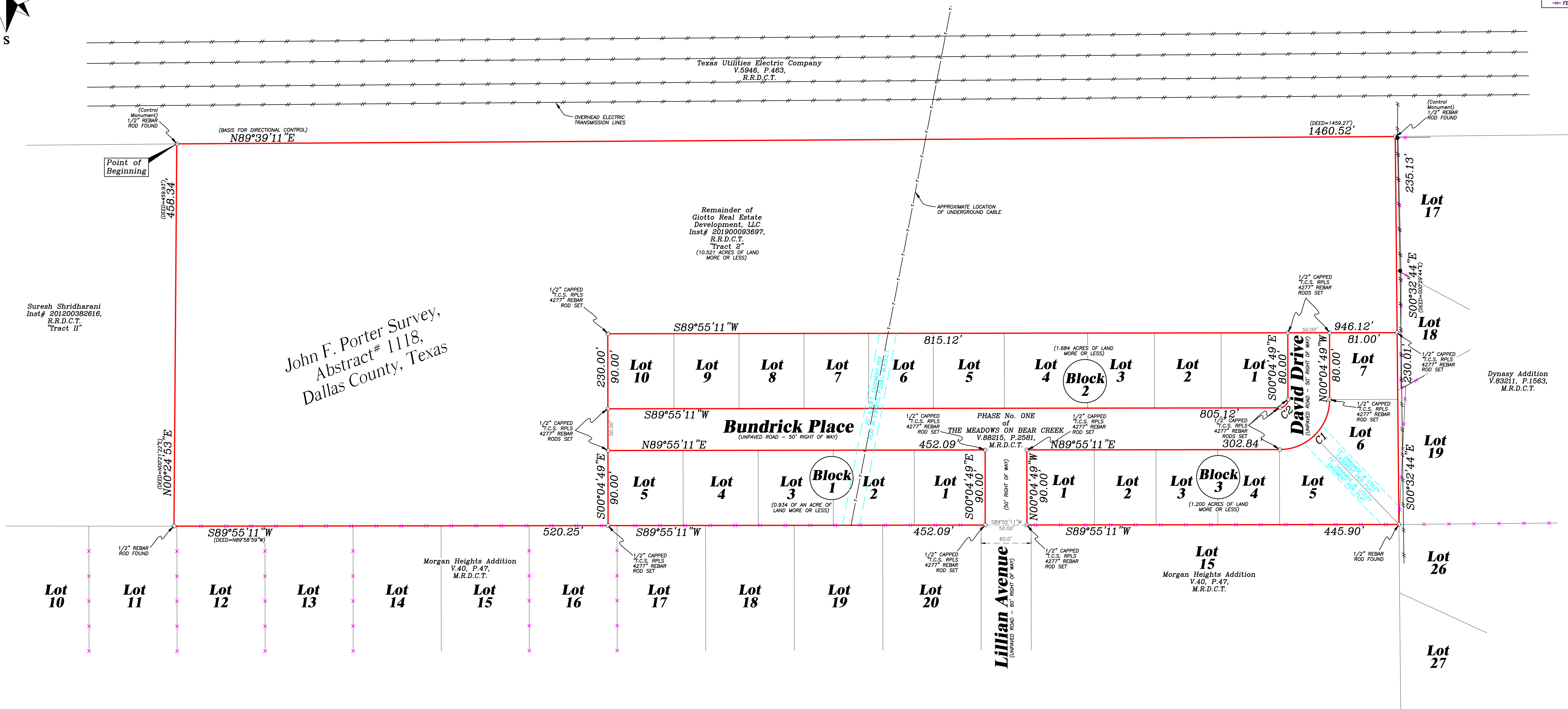
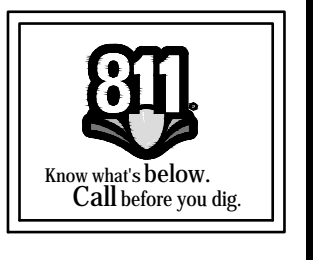


COMMENTS



LEGEND

- METER POLE
- UTILITY POLE
- DOWN GUY
- OVERHEAD UTILITY LINE
- ASPHALT
- CONCRETE
- FENCE



TRACT I

Legal Description:
Description for a tract of land situated in the John F. Porter Survey, Abstract Number 1118, Dallas County, Texas and being the remainder of a tract of land described in a deed to Giotto Real Estate Development, LLC recorded in Instrument Number 201900093697, Real Records, Dallas County, Texas, being more particularly described by metes and bounds as follows:

BEGINNING at a 1/2" rebar rod found (Control Monument) for the northwest corner of the Giotto Tract, same being the northeast corner of "Tract II" to Suresh Shridharani recorded in Instrument Number 201200382616, Real Records, Dallas County, Texas and being in the south line of a tract of land described in a deed to Texas Utilities Electric Company recorded in Volume 5946, Page 463, Real Records, Dallas County, Texas;

THENCE N89°39'11"E. (BASIS FOR DIRECTIONAL CONTROL), 1460.52 feet (DEED=1459.27') along the common line of the Giotto Tract and the Texas Utilities Tract to a 1/2" rebar rod found (Control Monument) for the northeast corner of the Giotto Tract, same being the northwest corner of Lot 17, Dynasty Addition recorded in Volume 83211, Page 1563, Map Records, Dallas County, Texas;

THENCE S00°32'44"E. (DEED=S00°29'44"E), 235.13 feet along the common line of the Giotto Tract and Lots 17 and 18, Dynasty Addition to a 1/2" capped "T.C.S. RPLS 4277" rebar rod set for the northeast corner of Lot 7, Block 3, PHASE No. ONE of THE MEADOWS ON BEAR CREEK recorded in Volume 88215, Page 2581, Map Records, Dallas County, Texas;

THENCE S89°55'11"W, 946.12 feet along a common line of the Giotto Tract and THE MEADOWS ON BEAR CREEK to a 1/2" capped "T.C.S. RPLS 4277" rebar rod set for the northwest corner of Lot 10, Block 2;

THENCE S00°04'49"E, 230.00 feet along a common line of the Giotto Tract and THE MEADOWS ON BEAR CREEK to a 1/2" capped "T.C.S. RPLS 4277" rebar rod set for the southwest corner of Lot 5, Block 1 and being in the north line of Lot 16, Morgan Heights Addition recorded in Volume 40, Page 47, Map Records, Dallas County, Texas;

THENCE S89°55'11"W. (DEED=N89°58'59"W), 520.25 feet along the common line of the Giotto Tract and Morgan Heights Addition to a 1/2" rebar rod found for the southwest corner of the Giotto Tract, same being the southeast corner of the Shridharani Tract;

THENCE N00°24'53"E. (DEED=N00°21'22"E), 458.34 feet (DEED=459.93') along the common line of the Giotto Tract and the Shridharani Tract to the POINT OF BEGINNING and containing 10.521 acres of land more or less.

TRACT II

Legal Description:
Lots 1-5, Block 1; Lots 1-10, Block 2 and Lots 1-7, Block 3, PHASE No. ONE of THE MEADOWS ON BEAR CREEK, an Addition to the City of Glenn Heights, Dallas County, Texas according to the Map thereof recorded in Volume 88215, Page 2581, Map Records, Dallas County, Texas.

CURVE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	60.00'	94.44'	S45°00'41"W	84.99'
C2	10.00'	15.71'	N44°55'11"E	14.14'

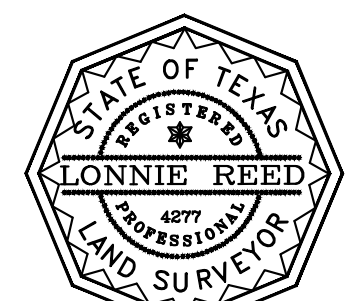
Notes:
According to the Flood Insurance Rate Map for Dallas County, Texas, and Incorporated Areas, Community Panel Number 48113C 0640 K, Dated July 7, 2014, this tract is in Zone X, an area not in the 1% annual chance flood.

The easements to Texas Power and Light recorded in Volume 5864, Page 61, Volume 5864, Page 65, Real Records, Dallas County, Texas and the Agreement to Texas Power and Light recorded in Volume 86189, Page 6540, Real Records, Dallas County, Texas affect this tract.

This sketch accurately represents an on the ground survey performed under my direction and supervision, and shows all property corners, and visible improvements, encroachments, and easements that have been provided to me. This survey has been performed strictly for this transaction only, as indicated by the Guaranty File Number as stated on this drawing, and is not to be used for any other transaction.

Janice Reed
09-01-2021

TRI SURVEYING
COUNTIES
d/b/a TRICO DELTA JOINT VENTURE
116 LOCUST STREET, AZLE, TX 76020
OFFICE: 817-444-2355 FAX: 817-444-4387
tc4277@gmail.com
FIRM REGISTRATION: 10194647
JOB# 21080514 GF# MF213380



UHL CROSSING PLANNED DEVELOPMENT (PD-32)



PARVIZ POURAZIZIAN
DIRECTOR OF DEVELOPMENT SERVICES

JUNE 2, 2025



Public Hearing will be held to receive testimony related to granting a change in zoning from Retail (R) District to a Planned Development District-32 (PD-32) for approximately 33.359 acres of land located at North West Corner of Ovilla Road and South UHL Road, Being a tract of land situated in the M Crasp Survey, Abstract Number 264, and the M McDermott Survey, Abstract Number 743, City of Glenn Heights, Ellis County, Texas and Being a portion of that Tract of land described as Sixth Tract in Deed to Joe Michael Mcgeath, Recorded in Volume 621, Page 839, of the official public record of Ellis County, Texas (OPRECT) Also commonly known as 605 Ovilla Road, Glenn Heights, Texas by changing the zoning classification from Retail (R) to Planned Development-32 (PD-32) for the purpose of a mixed-use development site, consisting of Multi-Family and Commercial.

Rezoning Request



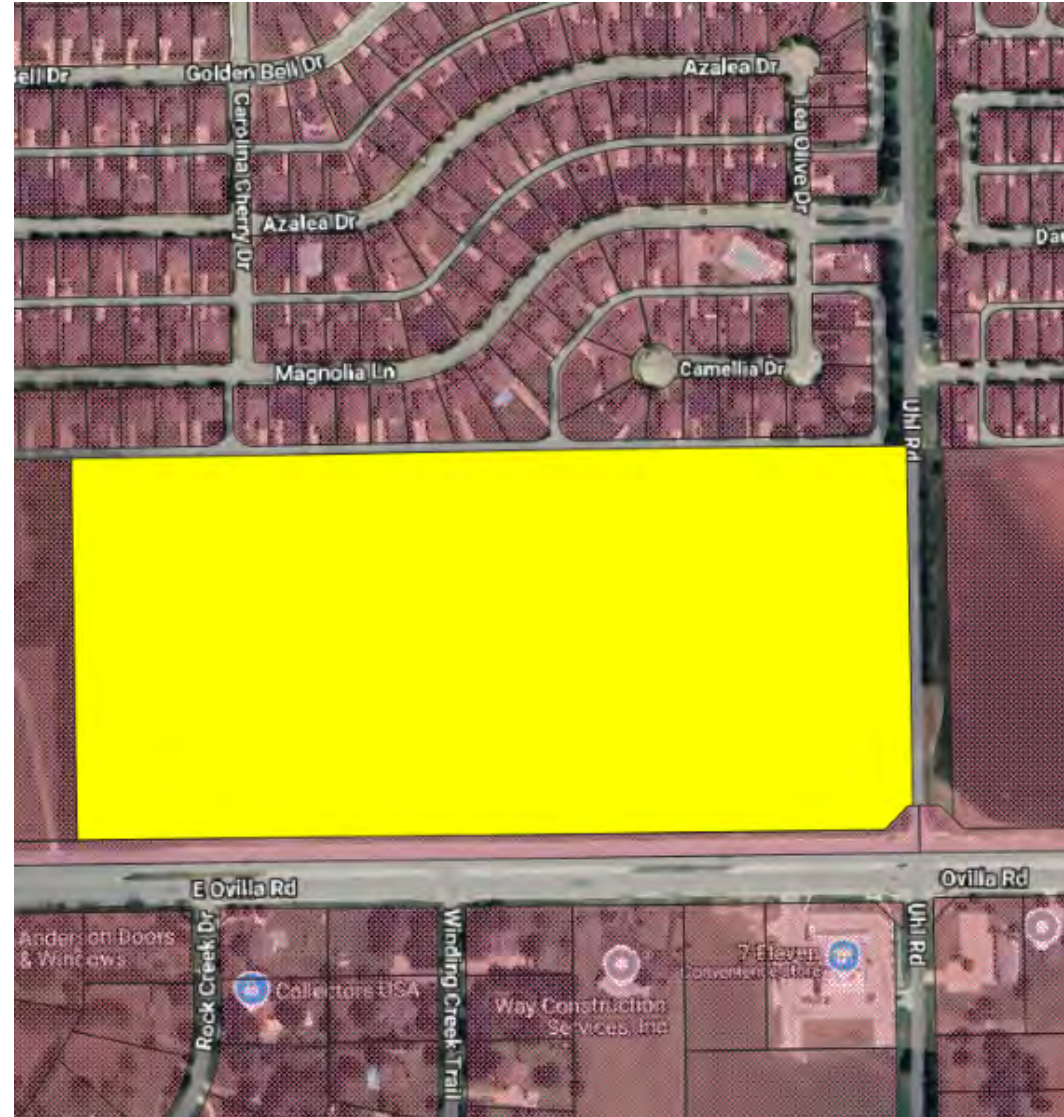
Applicant: Michael Neary

Location: Northwest corner of Ovilla Rd & S UHL Rd

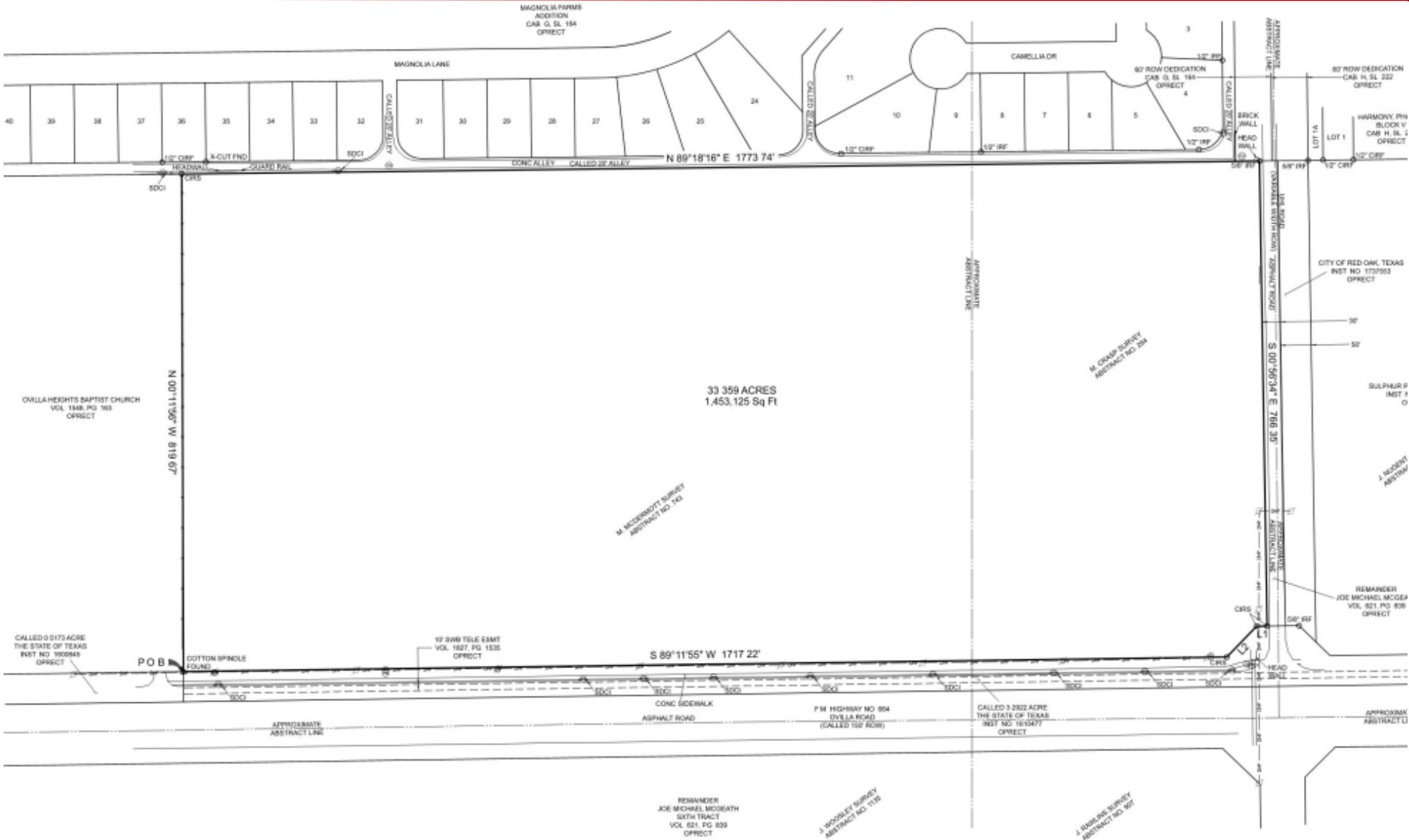
Request: Rezone from Retail (R) to Mix Use MF and Commercial

Current Zoning: Retail (R)

Location Map

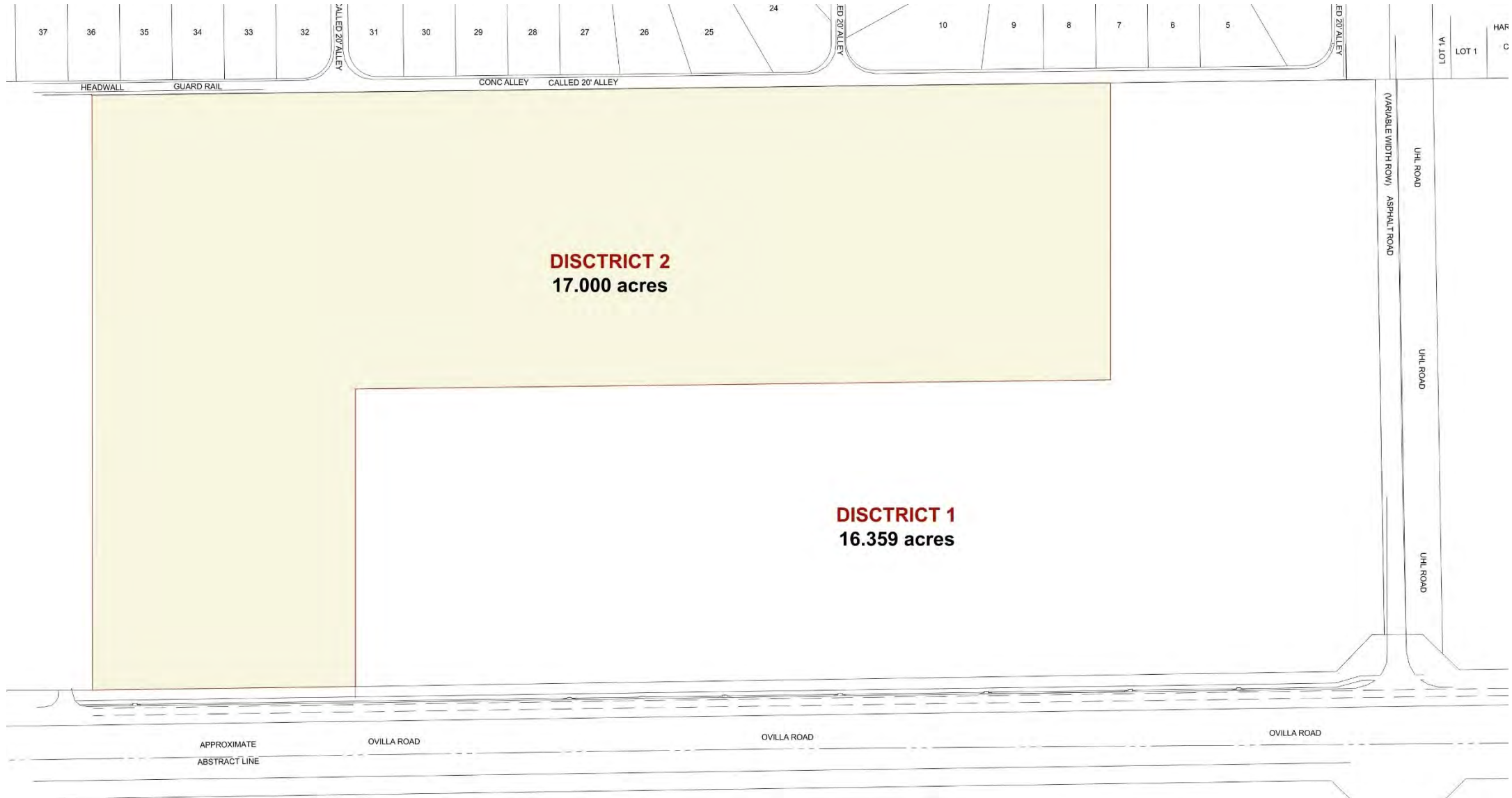


SURVEY





DISTRICT MAP



Land Use



Table 1 — Estimated Land Use Allocation

District	Land Use	Est. Acres	Est. Percentage of PD
District 1	Commercial	16.3559	49%
District 2	Commercial/Multifamily/Storage	17.0000	51%
	Total PD Acres & Percentages	33.3559	100%

ALLOWED USES (DISTRICT 1, COMMERCIAL)



The following uses are permitted by right in addition to those allowed under the base zoning district specified above:

- a. Retail Store, General
- b. Retail
- c. Urgent Care or Medical Office
- d. Automobile Repair, Minor
- e. Carwash, Automated
- f. Food/Convenience Store
- g. Grocery Store
- h. Multi-Use Entertainment Complex
- i. Restaurant, drive-in
- j. Restaurant, drive-thru
- k. Restaurant, Incidental or Accessory
- l. Office (Include Medical)
- m. Civic Use
- n. Community Facilities
- o. Shopping Center
- p. New Tire Sales/Service

ALLOWED USES (DISTRICT 1, COMMERCIAL)



The following uses are permitted under the base zoning district specified above **with Specific/ Special Use Permit:**

- a. Liquor store
- b. Vape / Smoke shop
- c. Automobile Repair, Major
- d. Terminal, bus or Baggage and transfer
- e. Storage, Warehouse, Wholesale and mini warehouse
- f. Any use that is not defined above



ALLOWED USES (DISTRICT 2)

The uses permitted by right in District 2 of the PD shall include all of the uses allowed in District 1 as well as the additional uses listed below. All uses will follow the City's design and standards for those uses, except as modified by this ordinance.

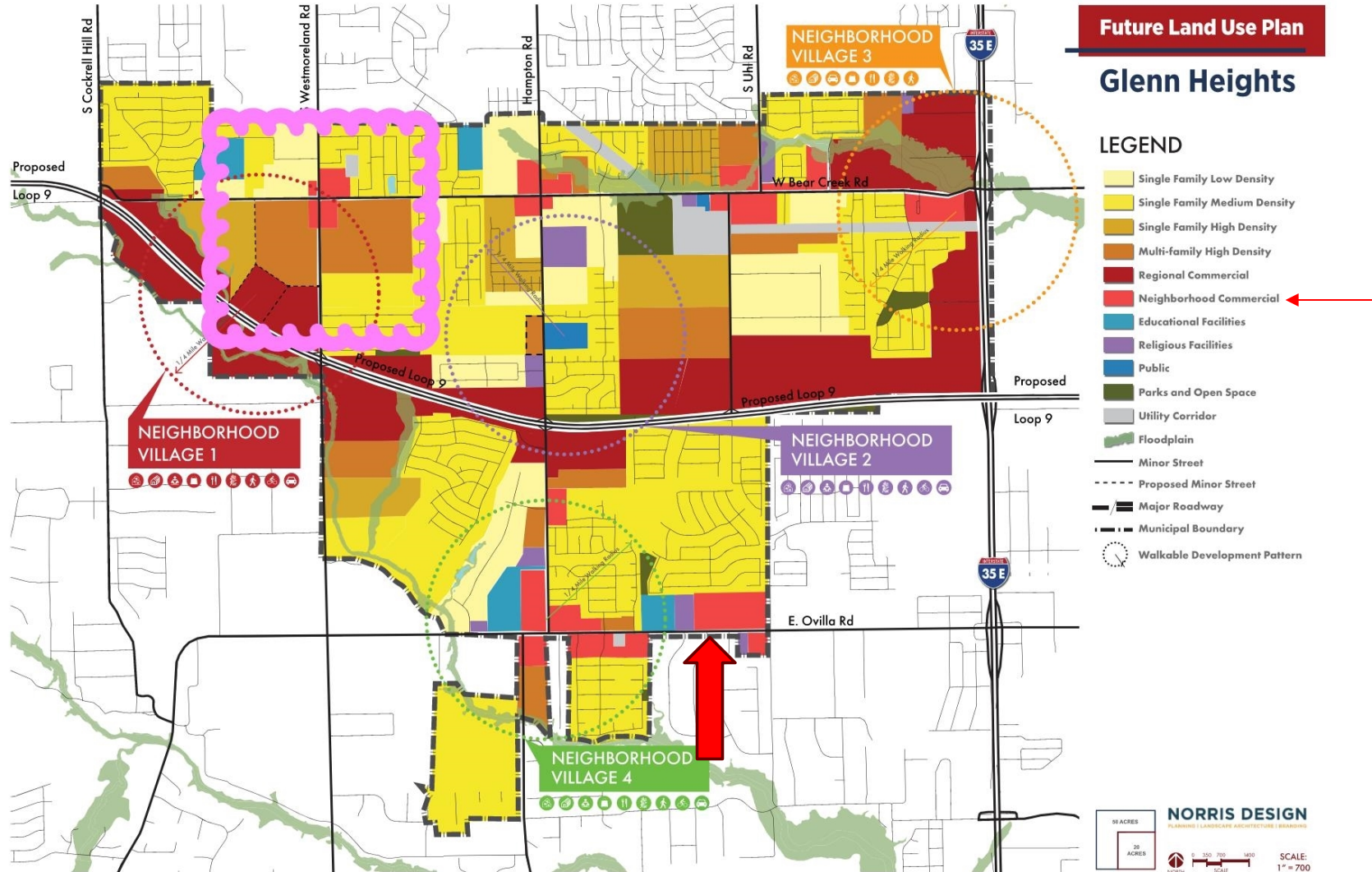
The following uses are permitted by right in addition to those allowed in District 1:

- a) Multifamily
- b) Warehouse, self-storage / Mini

2024 FUTURE LAND USE



5-7: Future Land Use Plan



RECOMMENDATION

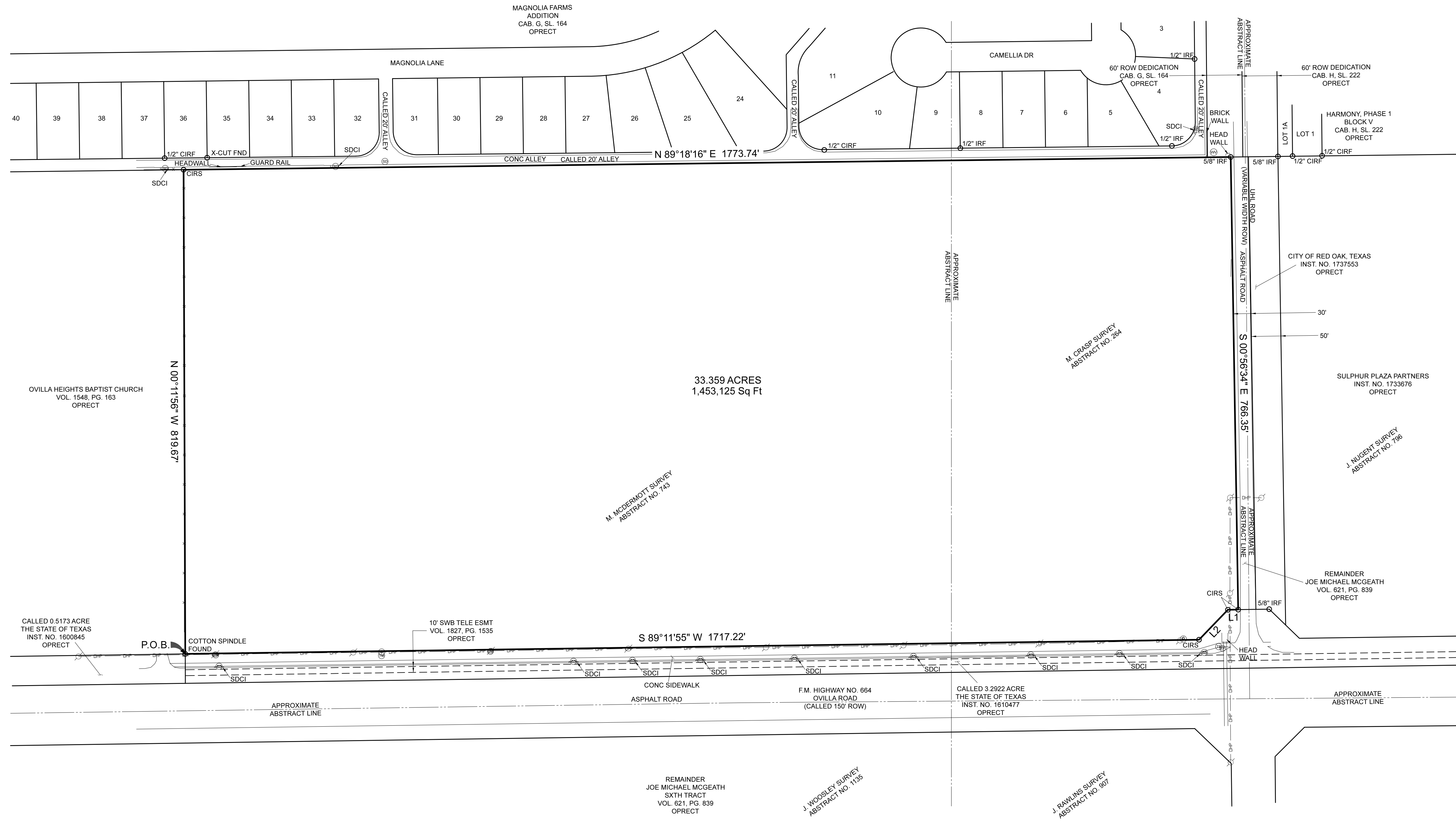
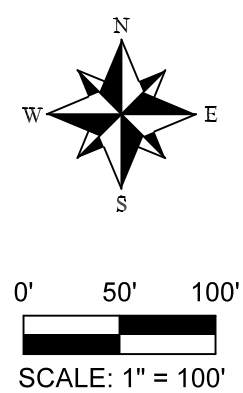


Staff Recommends approval of proposed zone change.

QUESTIONS



COMMENTS



PROPERTY DESCRIPTION:

BEING A TRACT OF LAND SITUATED IN THE M. CRASP SURVEY, ABSTRACT NO. 264, AND THE M. MCDERMOTT SURVEY, ABSTRACT NO. 743, CITY OF GLENN HEIGHTS, ELLIS COUNTY, TEXAS AND BEING A PORTION OF THAT TRACT OF LAND DESCRIBED AS SIXTH TRACT IN DEED TO JOE MICHAEL MCGEATH, RECORDED IN VOLUME 621, PAGE 839, OF THE OFFICIAL PUBLIC RECORDS OF ELLIS COUNTY, TEXAS (OPRECT) AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A COTTON SPINDLE FOUND FOR NORTHWEST CORNER OF A CALLED 3.2922 ACRE TRACT OF LAND DESCRIBED IN DEED TO THE STATE OF TEXAS, RECORDED IN INSTRUMENT NO. 1610477, OPRECT AND THE COMMON NORTHEAST CORNER OF A CALLED 0.5173 ACRE TRACT OF LAND DESCRIBED IN DEED TO THE STATE OF TEXAS, RECORDED IN INSTRUMENT NO. 1600845, OPRECT AND IN THE EAST LINE OF THAT TRACT OF LAND DESCRIBED IN DEED TO OVILLA HEIGHTS BAPTIST CHURCH, RECORDED IN VOLUME 1548, PAGE 163, OPRECT AND IN THE NORTH RIGHT-OF-WAY (ROW) LINE OF F.M. HIGHWAY NO. 664 OVILLA ROAD (CALLED 150' ROW);

THENCE N 00°11'56" W, ALONG THE EAST LINE OF SAID OVILLA HEIGHTS BAPTIST CHURCH TRACT, A DISTANCE OF 819.67 FEET TO A 5/8" IRON ROD WITH CAP STAMPED "TXRCS" SET FOR CORNER THE NORTHEAST CORNER OF SAID OVILLA HEIGHTS BAPTIST CHURCH TRACT, IN THE SOUTH LINE OF MAGNOLIA FARMS ADDITION, RECORDED IN CABINET G SLIDE 164, OPRECT;

THENCE N 89°18'16" E, ALONG THE SOUTH LINE OF SAID MAGNOLIA FARMS ADDITION, A DISTANCE OF 1773.74 FEET TO A 5/8" IRON ROD FOUND FOR CORNER, FROM WHICH THE SOUTHEAST CORNER OF SAID MAGNOLIA FARMS ADDITION BEARS N 89°18'16" E 20.57 FEET;

THENCE S 00°56'34" E, OVER AND ACROSS SAID MCGEATH TRACT, A DISTANCE OF 766.35 FEET TO A 5/8" IRON ROD WITH CAP STAMPED "TXRCS" SET FOR CORNER IN THE NORTH LINE OF SAID CALLED 3.2922 ACRE STATE OF TEXAS TRACT AND THE COMMON NORTH ROW LINE OF SAID F.M. HIGHWAY 664 OVILLA ROAD;

THENCE S 89°11'55" W, ALONG THE NORTH LINE OF SAID CALLED 3.2922 ACRE STATE OF TEXAS TRACT AND THE COMMON NORTH ROW LINE OF SAID F.M. HIGHWAY 664 OVILLA ROAD, A DISTANCE OF 17.39 FEET TO A 5/8" IRON ROD WITH CAP STAMPED "TXRCS" SET FOR CORNER;

THENCE S 43°59'13" W, ALONG THE NORTH LINE OF SAID CALLED 3.2922 ACRE STATE OF TEXAS TRACT AND THE COMMON NORTH ROW LINE OF SAID F.M. HIGHWAY 664 OVILLA ROAD, A DISTANCE OF 70.45 FEET TO A 5/8" IRON ROD WITH CAP STAMPED "TXRCS" SET FOR CORNER;

THENCE S 89°11'55" W, ALONG THE NORTH LINE OF SAID CALLED 3.2922 ACRE STATE OF TEXAS TRACT AND THE COMMON NORTH ROW LINE OF SAID F.M. HIGHWAY 664 OVILLA ROAD, A DISTANCE OF 1717.22 FEET TO THE POINT OF BEGINNING, AND CONTAINING 33.359 ACRES OF LAND MORE OR LESS.

I, TIMOTHY L. JACKSON, R.P.L.S. HEREBY CERTIFY TO WILLIAM C. BUSTER, TRUSTEE OF THE BUSTER FAMILY TRUST DATED FEBRUARY 16, 1998, WILLIAM R. BUSTER, MARK W. BUSTER, YVONNE, SINNEN, BETH K. STUART, JOE M. MCGEATH, ANN MCGEATH DUPONT, JOE M. MCGEATH AND WELLS FAARGO BANK, A NATIONAL ASSOCIATION, CO. TRUSTEES IF THE JOE MICHAEL MCGEATH TRUST AND THE ANN MCGEATH DUPONT TRUST, THAT THIS SURVEY WAS MADE ON THE GROUND, UNDER MY DIRECT SUPERVISION, ON THE DATE SHOWN, AND TO THE BEST OF MY KNOWLEDGE AND BELIEF IS A TRUE, CORRECT AND ACCURATE REPRESENTATION OF THE PROPERTY AS SURVEYED PER THE DESCRIPTION SHOWN HEREON. THE SIZE, LOCATION AND TYPE OF BUILDINGS AND VISIBLE IMPROVEMENTS ARE AS SHOWN.

THIS SURVEY SUBSTANTIALLY COMPLIES WITH THE CURRENT TEXAS SOCIETY OF PROFESSIONAL SURVEYOR'S STANDARDS AND SPECIFICATIONS FOR A CATEGORY 1A, CONDITION IV SURVEY.

TIMOTHY L. JACKSON
REGISTRATION NUMBER 5644

DATED: 03/09/2022
REVISED: 03/14/2022
REVISED: 03/15/2022

NOTES:

BEARING BASIS FOR THIS SURVEY IS TEXAS COORDINATE SYSTEM, NORTH CENTRAL ZONE 4202, NAD 83, PER GPS OBSERVATIONS

THE SURVEYOR DID NOT ABSTRACT THE SUBJECT PROPERTY FOR EASEMENTS OR ENCUMBRANCES THAT MAY AFFECT THE SUBJECT PROPERTY. THE SURVEYOR RELIED UPON THE TITLE COMMITMENT PROVIDED BY INDEPENDENCE TITLE ISSUED ON JANUARY 28, 2022, BY FIRST AMERICAN TITLE GUARANTY COMPANY OF NO. 2202147-SMDF, FOR RESEARCH OF EASEMENTS.

UTILITIES SHOWN HEREON ARE FROM OBSERVED EVIDENCE OF VISIBLE APPURTENANCES.

THE SUBJECT PROPERTY LIES WITHIN ZONE "X" - DEFINED AS "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN", ACCORDING TO THE THE FLOOD INSURANCE RATE MAP NO. 48139C0075F DATED JUNE 3, 2013, AS PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

THE FOLLOWING ITEMS SHOWN IN SCHEDULE B OF TITLE COMMITMENT PROVIDED BY INDEPENDENCE TITLE ISSUED ON JANUARY 28, 2022, BY FIRST AMERICAN TITLE GUARANTY COMPANY OF NO. 2202147-SMDF, APPEAR TO NOT HAVE AN AFFECT THE SUBJECT PROPERTY:

STATE OF TEXAS ROW: VOL. 496, PG. 212, OPRECT
SOUTHWESTERN BELL TELEPHONE COMPANY EASEMENT: VOL. 541, PG. 137, OPRECT
SOUTHWESTERN BELL TELEPHONE COMPANY EASEMENT: VOL. 544, PG. 649, OPRECT
HILL COUNTY ELECTRIC COOPERATIVE, INC. TERMS, CONDITIONS AND STIPULATIONS: VOL. 1362, PG. 554, OPRECT

THE FOLLOWING ITEMS SHOWN IN SCHEDULE B OF TITLE COMMITMENT PROVIDED BY INDEPENDENCE TITLE ISSUED ON JANUARY 28, 2022, BY FIRST AMERICAN TITLE GUARANTY COMPANY OF NO. 2202147-SMDF, APPEAR TO HAVE AN AFFECT THE SUBJECT PROPERTY:

RESTRICTIVE COVENANTS, INST. NO. 1733679, OPRECT

THE FOLLOWING ITEMS SHOWN IN SCHEDULE B OF TITLE COMMITMENT PROVIDED BY INDEPENDENCE TITLE ISSUED ON JANUARY 28, 2022, BY FIRST AMERICAN TITLE GUARANTY COMPANY OF NO. 2202147-SMDF, HAVE A DESCRIPTION THAT IS AMBIGUOUS IN NATURE, THEREFOR THE SURVEYOR IS UNABLE TO DETERMINE THE AFFECT, IF ANY, ON THE SUBJECT PROPERTY:

TP&L COMPANY EASEMENT: VOL. 399, PG. 135, OPRECT
SOUTHWESTERN BELL TELEPHONE COMPANY EASEMENT: VOL. 1827, PG. 1535, OPRECT

- LEGEND:**
- ⊕ ELECTRIC PULLBOX
 - ⊗ GAS MARKER
 - ⊙ POWER POLE
 - ⊕ PULLBOX (UNKNOWN)
 - ⊙ STORM DRAIN MANHOLE
 - ⊕ TELEPHONE MARKER
 - ⊙ TELEPHONE MANHOLE
 - ⊕ TRAFFIC SIGNAL
 - ⊙ WATER VALVE
 - FENCE LINE (VARIOUS TYPES)
 - - - OVERHEAD UTILITY LINES
 - ⊕ 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "TXRCS" SET
 - OPRECT OFFICIAL PUBLIC RECORDS, ELLIS COUNTY, TEXAS
 - (XXX) INDICATE RECORD OR DEED CALLS
 - ROW RIGHT-OF-WAY

LINE	BEARINGS	DISTANCE
L1	S 89°11'55" W	17.39
L2	S 43°59'13" W	70.45

PROJECT NO. 2082

LAND TITLE SURVEY
33.359 ACRES

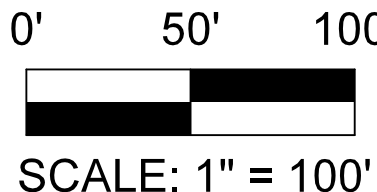
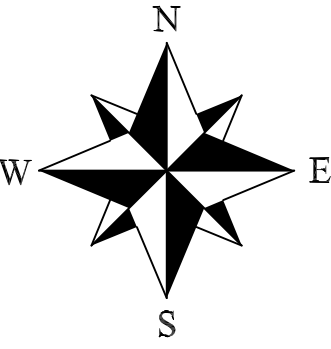
SITUATED IN THE
M. CRASP SURVEY
ABSTRACT NO. 264
AND THE
M. MCDERMOTT SURVEY
ABSTRACT NO. 743
CITY OF GLENN HEIGHTS
ELLIS COUNTY, TEXAS

TEXAS REALITY CAPTURE & SURVEYING, LLC

P.O. BOX 252
WAXAHACHE, TEXAS 75168
409.618.0338
TBPLS FIRM NO. 10194359

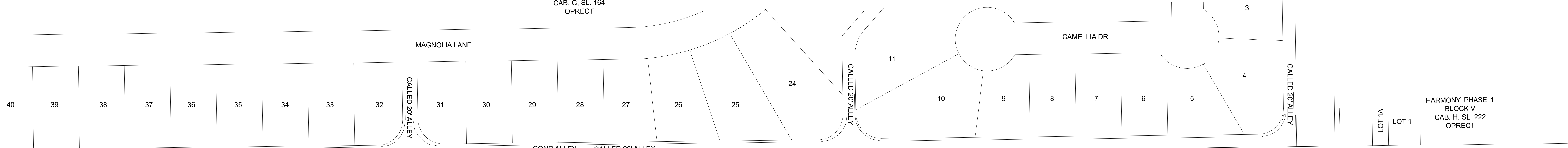
Glenn Heights

Site Plan

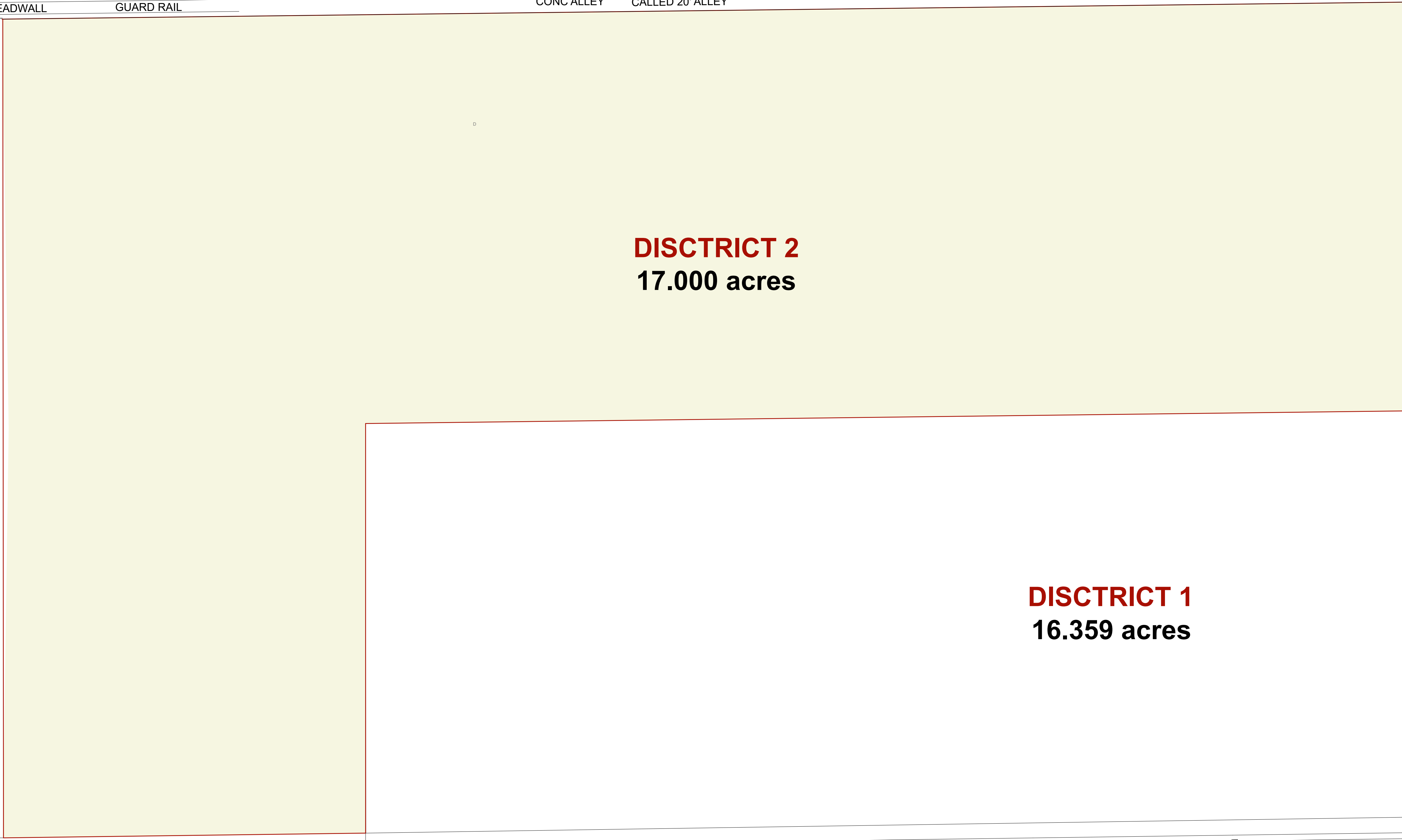


SCALE: 1" = 100'

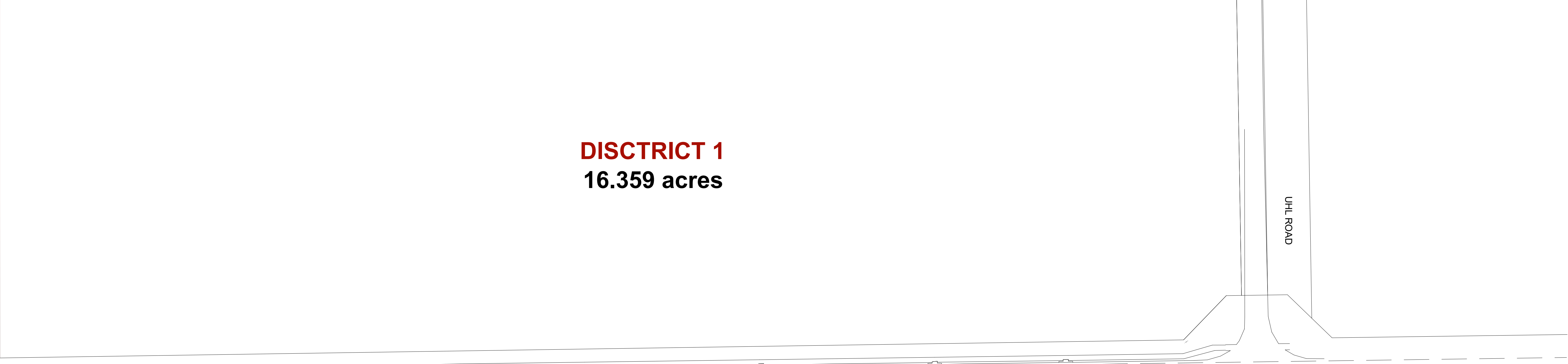
MAGNOLIA FARMS
ADDITION
CAB. C. SL. 164
OPRECT



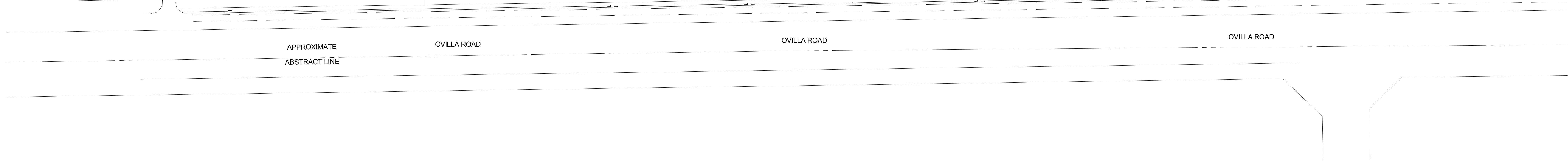
HARMONY, PHASE 1
BLOCK V
CAB. H. SL. 222
OPRECT



DISCTRICT 2
17.000 acres



DISCTRICT 1
16.359 acres



APPROXIMATE
ABSTRACT LINE

OVILLA ROAD

OVILLA ROAD

OVILLA ROAD

(VARIABLE WIDTH ROW) ASPHALT ROAD

UHL ROAD

UHL ROAD

UHL ROAD

VI LOT 1A

LOT 1

Glenn Heights

Landscape Plan

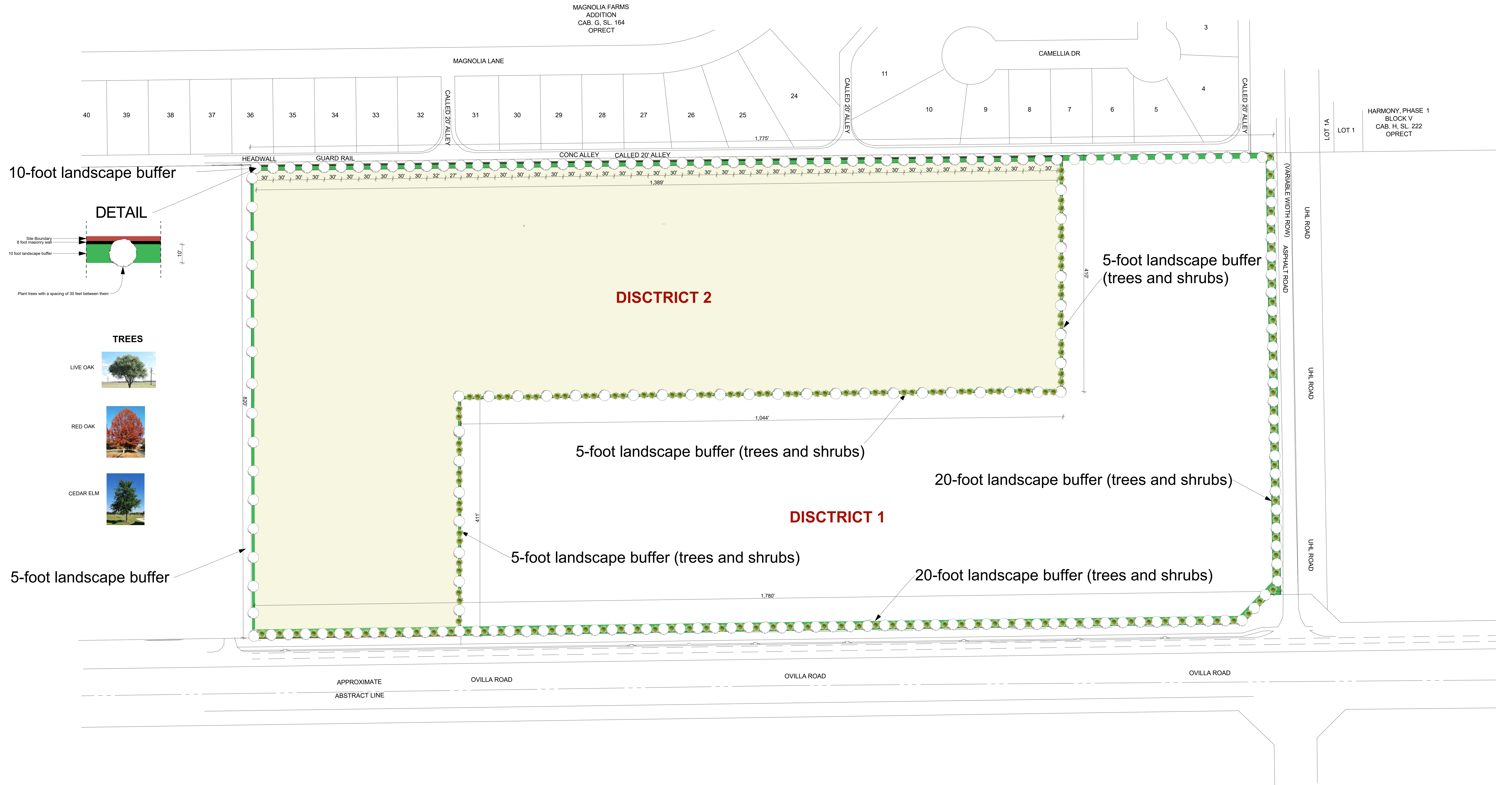
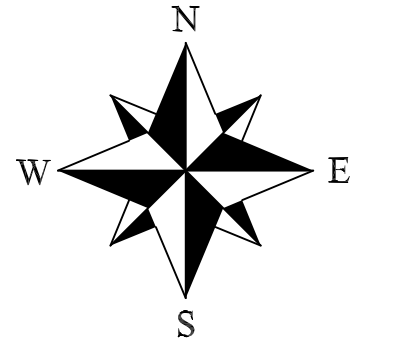
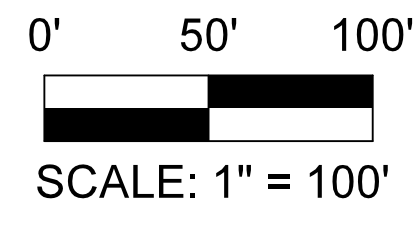


EXHIBIT "A"
PROPERTY DESCRIPTION AND DEPICTION

STATE OF TEXAS:
COUNTY OF ELLIS: KNOW ALL MEN BY THESE PRESENTS:

THAT WILLIAM C BUSTER IS THE SOLE OWNER OF A TRACT OF LAND SITUATED IN THE M. CRASP SURVEY, ABSTRACT NO. 264, AND THE M. MCDERMOTT SURVEY, ABSTRACT NO. 743, CITY OF GLENN HEIGHTS, ELLIS COUNTY, TEXAS AND BEING A PORTION OF THAT TRACT OF LAND DESCRIBED IN DEED TO WILLIAM C. BUSTER, TRUSTEE OF THE BUSTER FAMILY TRUST, RECORDED IN INSTRUMENT NO. 2213571, OF THE OFFICIAL PUBLIC RECORDS OF ELLIS COUNTY, TEXAS (OPRECT) AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A COTTON SPINDLE FOUND FOR NORTHWEST CORNER OF A CALLED 3.2922 ACRE TRACT OF LAND DESCRIBED IN DEED TO THE STATE OF TEXAS, RECORDED IN INSTRUMENT NO. 1610477, OPRECT AND THE COMMON NORTHEAST CORNER OF A CALLED 0.5173 ACRE TRACT OF LAND DESCRIBED IN DEED TO THE STATE OF TEXAS, RECORDED IN INSTRUMENT NO. 1600845, OPRECT AND IN THE EAST LINE OF THAT TRACT OF LAND DESCRIBED IN DEED TO OVILLA HEIGHTS BAPTIST CHURCH, RECORDED IN VOLUME 1548, PAGE 163, OPRECT AND IN THE NORTH RIGHT-OF-WAY (ROW) LINE OF F.M. HIGHWAY NO. 664/OVILLA ROAD (CALLED 150' ROW);

THENCE N 00°11'56" W, ALONG THE WEST LINE OF SAID BUSTER TRACT AND THE COMMON EAST LINE OF SAID OVILLA HEIGHTS BAPTIST CHURCH TRACT, A DISTANCE OF 819.67 FEET TO A 5/8" IRON ROD WITH CAP STAMPED "TXRCS" SET FOR THE NORTHWEST CORNER OF SAID BUSTER TRACT AND THE COMMON NORTHEAST CORNER OF SAID OVILLA HEIGHTS BAPTIST CHURCH TRACT, IN THE SOUTH LINE OF MAGNOLIA FARMS ADDITION, RECORDED IN CABINET G SLIDE 164, OPRECT;

THENCE N 89°18'16" E, ALONG THE NORTH LINE OF SAID BUSTER TRACT AND THE COMMON SOUTH LINE OF SAID MAGNOLIA FARMS ADDITION, A DISTANCE OF 1773.74 FEET TO A 5/8" IRON ROD FOUND FOR THE NORTHEAST CORNER OF SAID BUSTER TRACT, FROM WHICH THE SOUTHEAST CORNER OF SAID MAGNOLIA FARMS ADDITION, BEARS N 89°18'16" E 20.57 FEET;

THENCE S 00°56'34" E, ALONG THE EAST LINE OF SAID BUSTER TRACT, A DISTANCE OF 766.35 FEET TO A 5/8" IRON ROD WITH CAP STAMPED "TXRCS" SET FOR THE SOUTHEAST CORNER OF SAID BUSTER TRACT, IN THE NORTH LINE OF SAID CALLED 3.2922 ACRE STATE OF TEXAS TRACT AND THE COMMON NORTH ROW LINE OF SAID F.M. HIGHWAY 664/OVILLA ROAD;

THENCE S 89°11'55" W, ALONG THE SOUTH LINE OF SAID BUSTER TRACT AND THE COMMON NORTH LINE OF SAID CALLED 3.2922 ACRE STATE OF TEXAS TRACT AND THE COMMON NORTH ROW LINE OF SAID F.M. HIGHWAY 664/OVILLA ROAD, A DISTANCE OF 17.39 FEET TO A 5/8" IRON ROD WITH CAP STAMPED "TXRCS" SET FOR CORNER;

THENCE S 43°59'13" W, ALONG THE SOUTH LINE OF SAID BUSTER TRACT AND THE COMMON OF SAID CALLED 3.2922 ACRE STATE OF TEXAS TRACT AND THE COMMON NORTH ROW LINE OF SAID F.M. HIGHWAY 664/OVILLA ROAD, A DISTANCE OF 70.45 FEET TO A 5/8" IRON ROD WITH CAP STAMPED "TXRCS" SET FOR CORNER;

THENCE S 89°11'55" W, ALONG THE SOUTH LINE OF SAID BUSTER TRACT AND THE COMMON OF SAID CALLED 3.2922 ACRE STATE OF TEXAS TRACT AND THE COMMON NORTH ROW LINE OF SAID F.M. HIGHWAY 664/OVILLA ROAD, A DISTANCE OF 1717.22 FEET TO THE POINT OF BEGINNING, AND CONTAINING 33.359 ACRES OF LAND MORE OR LESS.

EXHIBIT "B"

PLANNED DEVELOPMENT DISTRICT REGULATIONS

UHL Road Crossing

City of Glenn Heights, Texas

_____, 2025

Development Regulations

Table of Contents

PART 1. PURPOSE AND INTENT

PART 2. EXHIBITS

PART 3. DEFINITIONS

PART 4. ALLOCATION OF LAND USES

**PART 5. RELATIONSHIP TO CITY OF GLENN HEIGHTS COMPREHENSIVE ZONING
ORDINANCE**

PART 6. PERMITTED USES

PART 7. GENERAL DESIGN STANDARDS

PART 1. PURPOSE AND INTENT

1.01 General

The Planned Development district is a mixed-use development located in the heart of the City, convenient to major roadways without sacrificing the beauty of the setting, and purposefully designed for high quality rental housing along that is appointed with luxury amenities and situated among commercial and open-space recreational uses that blend a high quality lifestyle.

The rental community may be set for the community, has been conceived as a luxury rental community up 25 units/acre with high end amenities such as a resort style swimming pool, fully appointed fitness center, other recreational areas and business center inside one or more common buildings that may also contain an event room, children's play area and a conference room. Purposeful design may include giving each rental unit a balcony or a patio and well landscaped courtyards throughout the property that will feel parklike in its setting, with the overall goal of fostering and maintaining high quality standards in the community.

Abutting Ovilla Road may be two or more lots for future commercial business. These lots may be developed to be compatible uses for the residential community to be located behind this commercial frontage and to provide walkability to and from the residential community. Compatible uses could be restaurants, urgent care or retail uses. Such lots may also feature mixed uses of commercial and multifamily residential.

The total acreage of this Planned Development is 33.3559 +/- acres (Property). The Development shall consist of two (2) districts. District 1, being land in-between District 2 and Ovilla Road, may include Retail and/or neighborhood services uses. District 2 will be approximately 17 acres of land that, in addition to the uses allowed in District 1, may include multifamily development with multiple buildings up to three stories with common open space areas and may feature common amenities such as a club house, recreational facilities, and landscaping, as well as self-storage.

1.02 Planned Development District

The Planned Development District, as defined under the City of Glenn Heights' Comprehensive Zoning Ordinance, is intended to accommodate multiple family dwellings as well as retail and neighborhood services and open space. Except as set forth in these Regulations, the Planned Development District will be planned and developed in accordance with planned development provisions of the City of Glenn Heights' Comprehensive Zoning Ordinance including, without limitation, Exhibit A to Chapter 14 and the City's Subdivision Regulations contained in Chapter 10).

PART 2. EXHIBITS

The attached exhibits are incorporated into this ordinance in their entirety as though set forth fully in the text of this ordinance. The exhibits are as follows:

- Exhibit A: ~~Legal Description of Property~~
- Exhibit 1: Provisional comparisons
- Exhibit C: ~~Proposed district layout of the Property~~

PART 3. DEFINITIONS

A. The term "Multifamily Development" as described in this PD shall refer to a multi-family dwelling, or a complex of dwellings, consisting of up to 25 units/acre.

PART 4. ALLOCATION OF LAND USES

Table 1 — Estimated Land Use Allocation

District	Land Use	Est. Acres	Est. Percentage of PD
District 1	Commercial	16.3559	49%
District 2	Commercial/Multifamily/Storage	17.0000	51%
	Total PD Acres & Percentages	33.3559	100%

PART 5. RELATIONSHIP TO CITY OF GLENN HEIGHTS' COMPREHENSIVE ZONING ORDINANCE

In the event of a conflict or inconsistency between the written the provisions of the enabling Ordinance of these Regulations and the provisions of the City of Glenn Heights' Comprehensive Zoning Ordinance, the provisions and intent of the enabling Ordinance No. O-XX-25 shall control. In the event of a conflict or inconsistency between the written requirements of this ordinance and any information contained on the attached Concept Plan, the written requirements of the enabling Ordinance No. O-XX-25 and these Regulations shall control. These Regulations, together with the applicable provisions of the enabling Ordinance No. O-XX-25 and the applicable provisions of the City of Glenn Heights' Comprehensive Zoning Ordinance and Subdivision Regulations, shall constitute all the development standards that are applicable to the Subdivision. Any approved Preliminary or Final Subdivision Plat must substantially conform to the applicable approved Concept Plan.

PART 6. PERMITTED USES

6.01 District 1. The uses permitted by right in District 1 of the PD shall be limited to those allowed under the City's current Commercial base zoning district as well as those listed below. All uses developed will follow the City's design and standards for those uses, except as modified by this ordinance.

The following uses are permitted by right in addition to those allowed under the base zoning district specified above:

- a) Retail Store, General
- b) Retail
- c) Urgent Care or Medical Office
- d) Automobile Repair, Minor
- e) Carwash, Automated
- f) Food/Convenience Store
- g) Grocery Store
- h) Multi-Use Entertainment Complex
- i) Restaurant, drive-in
- j) Restaurant, drive-thru
- k) Restaurant, Incidental or Accessory
- l) Office (Include Medical)
- m) Civic Use
- n) Community Facilities
- o) Shopping Center
- p) New Tire Sales/Service

The following uses are permitted under the base zoning district specified above with Specific/ Special Use Permit:

- a) Liquor store
- b) Vape / Smoke shop
- c) Automobile Repair, Major
- d) Terminal, bus or Baggage and transfer
- e) Storage, Warehouse, Wholesale and mini warehouse
- f) Any use that is not defined above

6.02 District 2. The uses permitted by right in District 2 of the PD shall include all of the uses allowed in District 1 as well as the additional uses listed below. All uses will follow the City's design and standards for those uses, except as modified by this ordinance.

The following uses are permitted by right in addition to those allowed in District 1:

- a) Multifamily
- b) Warehouse, self-storage / Mini

PART 7. GENERAL DESIGN STANDARDS

7.01 City Building Permits. All development of and construction within the Planned Development will be subject to obtaining building permits from the City in accordance with the City's applicable rules and regulations governing such permits.

7.01-a

7.02 Standalone development. This development will be constructed as a stand-alone project fully contained within the initial 33.359 acre tract. There will be no access from any components of this project to the Magnolia Farms community to the North, including to that community's private alleyway, which runs just above the northern boundary of this Planned Development.

7.03 District 1 Standards

(a) All future development in District 1 shall be subject to the City of Glenn Heights' development code that is in place on the date of approval of this Ordinance including, but not limited to, regulations regarding height, lot size, parking, landscape, screening, lighting, and driveway spacing, except as modified herein. For clarity, a copy of those based standards shall be attached to this document and subject to any modifications listed below.

(b) Building Setbacks – Within this development, the required setbacks from the property line are modified as follows for District 1:

- i. From Ovilla Road or Uhl Road: 30 feet
- ii. From adjacent property within the development: 10 feet
- iii. From the Ovilla Rd Baptist Church property: 15 feet

(c) Landscape buffer – 20 feet from both Uhl & Ovilla

(d) Sidewalks - The minimum width of any sidewalk parallel and adjacent to S UHL RD shall be five feet (5').

7.04 District 2 Standards for Multifamily development

- a. Density — Maximum of twenty-five (25) units an acre
- b. Total units – Maximum of 350 total multifamily units are permitted in District 2
- c. Unit Floor Area - A Multifamily Development dwelling unit shall have a minimum square feet of floor area, excluding common corridors, basements, open and screened porches or decks, and garages as follows:

Studio units will be a minimum of 550 square feet.

One-bedroom units will be a minimum of 700 square feet.

Two-bedroom units will be a minimum of 850 square feet.

Three-bedroom units will be a minimum of 1000 square feet.

- d. Maximum Lot Coverage/Minimum Open Space— The multifamily site will include a minimum of 20% open space, which is defined as any space not covered by building foundation or paving/parking.
- e. Building Separation — There shall not be a minimum building separation other than as stipulated in the Building and Fire codes.
- f. Building Length - Buildings shall not exceed two hundred fifty feet (250') horizontally.
- g. Parking - Parking regulations as provided shall apply to Multifamily Development as follows:
 - I. A minimum parking ratio of one space per studio unit, 1.25 space per 1-bedroom unit, 2.0 spaces per 2-bedroom unit, and 2.5 spaces per 3-bedroom unit; and
 - II. An additional one guest space for every 15 units

- III. No enclosed or covered spaces are required, but are permitted; and
- IV. No screening of parking shall be required.
- V. Each standard off-street surface parking space shall be in accordance with the design standards for space size and design as set forth below.

i. Standard: Nine feet by eighteen feet (9' x 18'), exclusive of access drives and aisles.

- h. Maximum Height — the Multifamily Development shall not exceed 3 stories in height for multifamily residential building. The community clubhouse and/or leasing office shall not exceed 2 stories in height. No structure will exceed 45 feet in height.
- j. Accessory Buildings — the accessory buildings, including any item attached to its roof, shall not exceed 20' at its tallest point.
- k. Sidewalks - The minimum width of any sidewalk parallel and adjacent to head-in parking spaces shall be five feet (5').
- l. Minimum Exterior Construction Standards — For the individual multifamily buildings that are nearest to and directly visible from Ovilla and Uhl Roads, the exterior wall elevations of said building that are parallel to Ovilla and Uhl Roads shall be constructed of at least sixty percent (60%) masonry construction to include brick, stone, granite, marble, or stucco; excluding doors, windows, and balconies. Buildings and structures that are not the nearest building to Ovilla or Uhl Roads shall have no masonry restriction. Exhibit D illustrates which wall elevations will include masonry construction.
- m. Refuse Facilities —
 - 1. If a multifamily development provides its residents with valet trash service, the development may be served by a single trash compactor and recycling receptacle. These facilities will be subject to Glenn Heights' refuse facility screening requirements.
 - 2. If the developer does not provide a valet trash service, the following standards will apply:
 - I. Multifamily buildings shall be located within two hundred feet (200') to refuse facilities as defined in Exhibit B; and
 - II. Multifamily development shall have a total of at least 6 refuse containers located generally around the site for easy access from each residential building. These facilities will be subject to Glenn Heights' current refuse facility screening requirements.
- n. Landscape and Screening Requirements — The following requirements apply to all Multifamily development within the project:
 - a. The Multifamily development will incorporate drought tolerant, native species into its landscape plan. Tree species may include live oak, red oak, cedar elm, or other similar species if approved by the Planning Director.

- b. The Multifamily development shall construct a barrier along the north side of its property to screen the existing residential homes from the new development. This barrier will include a pre-cast concrete screening wall at least 8 feet tall and trees planted at 30-foot intervals to provide additional screening above the wall.
- c. Perimeter Landscaping – The following landscape buffers are required as measured from the property line:
 - i. A minimum 20-foot-wide landscape buffer is required along any portion of the property bordering either Ovilla or Uhl roads.
 - ii. A minimum 10-foot-wide landscape buffer is required along the northern boundary of the property bordering the Magnolia Farms residential development.
 - iii. A minimum 5-foot-wide landscape buffer is required along all property lines adjacent to other commercial lots as an additional 5-foot-wide landscape buffer is required on the commercial lot to create a 10-foot-wide area in total.
 - iv. The western boundary of this property, which borders property currently owned by Ovilla Heights Baptist Church, requires a 5-foot-wide landscape buffer.
- d. The following requirements apply only to the specified landscape buffers:
 - i. Northern boundary landscape buffer: This area will require trees to be planted with a maximum spacing of 30 feet. Trees in this area will have a minimum caliper of 3 inches and minimum height of 10 feet at the time of planting.
 - ii. Ovilla Road boundary landscape area: Trees in this area will have a minimum caliper of 3 inches and minimum height of 10 feet at the time of planting.
- o. Multifamily Development setbacks – The multifamily development site will be subject to the following building setback requirements:
 - a. Rear building setback (as measured from the northern property line, adjacent to Magnolia Farms residential development): 72.5 feet from the northern property line.
 - b. Ovilla Road building setback: 30 feet

7.05 District 2 Standards for Self-Storage development

- a. Total Size — Self Storage use in District 2 may not exceed a total of 4.5 acres.

- b. Maximum Lot Coverage — Self-storage development site shall be limited to a maximum of 90% lot coverage, which shall be calculated by summing all building foundations, pavement, and parking lots. Notwithstanding this maximum allowance, the site’s required Perimeter Landscaping Areas may not be reduced below the requirements stated herein.
- c. Maximum Height — the Self-Storage Development shall not exceed 20 feet in height.
- d. Landscape and Screening Requirements — The following requirements apply to all Self-storage development within the property:
 - a. The Self-Storage development will incorporate drought tolerant, native species into its landscape plan. Tree species may include live oak, red oak, cedar elm, or other similar species if approved by the Planning Director
 - b. The Self-Storage development shall construct a barrier along the north side of its property to screen the existing residential homes from the new development. This barrier will include a pre-cast concrete screening wall at least 8 feet tall and trees planted at regular intervals to provide additional screening above the wall.
 - c. Perimeter Landscaping Areas – A minimum 10-foot-wide landscape area is required along all property lines except those adjacent to commercial lots, where a 5-foot-wide landscape area is required
 - d. The following requirements apply only to the specified landscape areas:
 - i. Northern boundary landscape area: This area will require trees to be planted with a maximum spacing of 30 feet. Trees in this area will have a minimum caliper of 3 inches and minimum height of 10 feet at the time of planting.

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Exhibit A

Exhibit "1"
UHL Crossing
 District Comparisons/ Deviation **District 2**

	MF	Uhl Crossing	<i>Explanation</i>
Density	Max 14 Units Per Acre	Max 25 Units Per Acre	25 units per acre is considered a suburban MF density
MF as Percentage of Development	Max 15%	51% or less 39% planned	
Unit Floor Area	Studio = 500 sq ft One bedroom = 800 sq ft two bedroom = 950 sq ft three bedroom = 1,100 sq ft	Studio = 550 sq ft One bedroom = 700 sq ft two bedroom = 850 sq ft three bedroom = 1,000 sq ft	
Minimum Lot Coverage	Min Lot width = 100' Min Lot depth = 120'	Standard Met Standard Met	
Minimum Lot Area	3,000 sq ft per dwelling unit = 14 units per acre	25 units per acre on up to 15 acres	
Maximum Lot Coverage	60%	80%	
Size of Yards	Minimum front yard = 40' Minimum side yard = 75'	Standard Met 30 Standard Met	
Parking	2 enclosed spaces = 1 bedroom 2 enclosed spaces & one covered space = 2 & 3 bedrooms	1 space per studio unit; 1.25 spaces per single bedroom unit; 2 spaces per two-bedroom unit; 2.5 spaces per three-bedroom unit; Add 1 space per 15 units. Enclosed or covered spaces optional	The provisional district standard would result in the development being grossly overparked

Site Amenities	None Required	May include resort style swimming pool, fitness center, business center, community room, BBQ grills and/or children's playground	MF included in Uhl Crossing will be fully appointed rental community with amenities that rival the nicest communities in DFW
Accessory Buildings	Max Height of 15'	Max Height of 2 stories 20'	MF at Uhl Crossing may have a clubhouse as part of its residential amenities. An arbitrary height does not serve a purpose for this development.
Unit Mix	Studio, One & two bedroom = minimum of 90% three bedroom = max of 10%	Studio/One bedroom = minimum 25% Two Bedroom = min. 50% Three Bedroom = max. 25%	
Exterior Construction	100% Masonry	60% Masonry on facades closest to and facing both Ovilla and Uhl	See our attached elevations for possible design. 100% masonry can look institutional and we prefer to use materials of high quality and designed in a way that is beautiful
HVAC Screening	All screened and hidden from view	facing Ovilla and Uhl roads will be screened	It is incredibly difficult to completely hide HVAC equipment but our site plan creates the best use of open space and landscape areas
Fencing	Screening required but no fence is required	8 ft. masonry screening fence required along northern boundary adjacent to Magnolia Farms community	MF at Uhl Crossing will be a fully gated community
Refuse Facilities	All units to be within 200' of a refuse facility	If Valet trash service is not provided, all buildings to be located within 200' of a refuse facility	Intend to provide residents with valet trash service. However, if not provided, dumpsters will be located evenly throughout the development that will provide more than adequate refuse facilities

Landscape	90% of the street yard and 20% of the total lot area shall be devoted to a combination of landscaping and usable open space	20% of the total lot area shall be devoted to a combination of landscaping and usable open space	
Building size	Buildings shall not exceed 200' in length	Maximum building length 250'	

Exhibit "C"

UHL CROSSING PRELIMINARY AND FINAL PLAT



PARVIZ R POURAZIZIAN
DIRECTOR OF PLANNING & DEVELOPMENT SERVICES

JUNE 2, 2025

PRELIMINARY AND FINAL PLAT



Discuss and take action to consider making a recommendation on a Preliminary/Final Plat Request by Michael Neary, on behalf of Mark Buster , for the UHL Crossing, for a 33.359-acre tract of land being generally located at the Northwest corner of the intersection of Ovilla Road and South UHL Road in the City of Glenn Heights, Ellis County, Texas, situated in the M. Crasp Survey, Abstract No. 264, and the M. Mcdermott Survey, Abstract No. 743, city of Glenn Heights, Ellis County, Texas and being a portion of that tract of land described in deed to William c. Buster, Trustee of the Buster family trust, recorded in instrument No. 2213571, of the official public records of Ellis county, Texas (OPRECT).

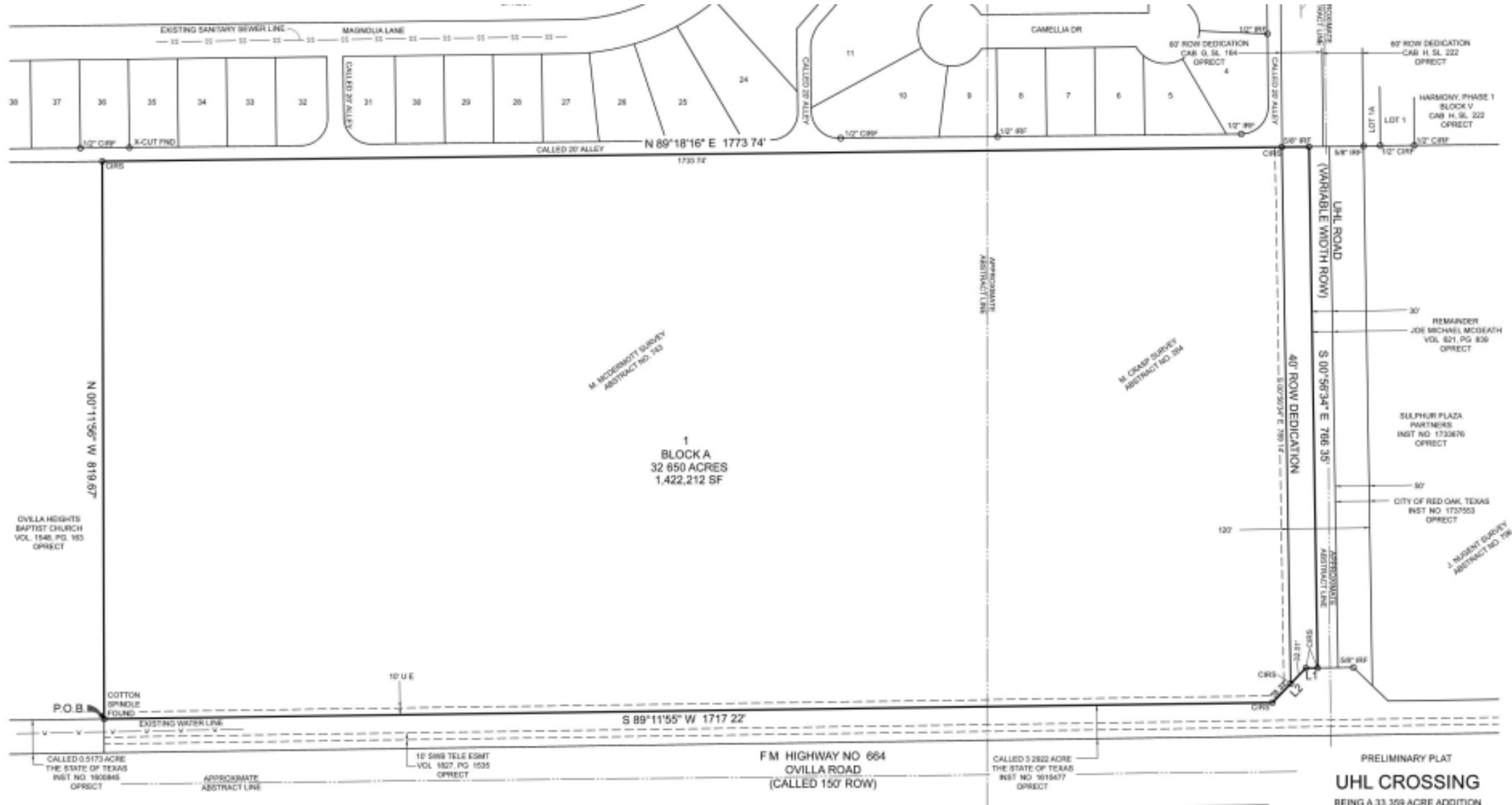


AERIAL VIEW



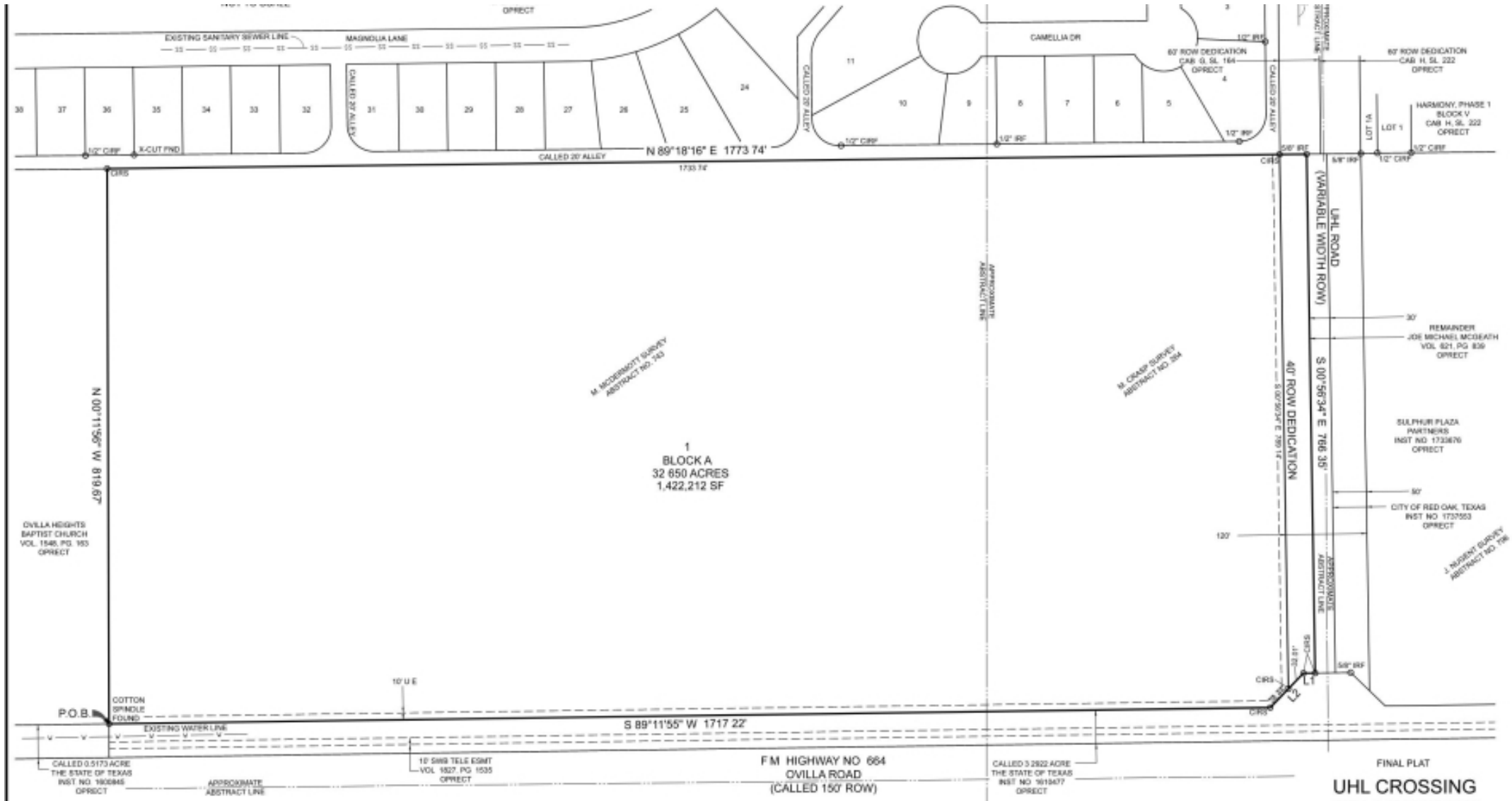


PRELIMINARY PLAT





FINAL PLAT



QUESTIONS



COMMENTS

UHL CROSSING PRELIMINARY AND FINAL PLAT



PARVIZ R POURAZIZIAN
DIRECTOR OF PLANNING & DEVELOPMENT SERVICES

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PRELIMINARY AND FINAL PLAT



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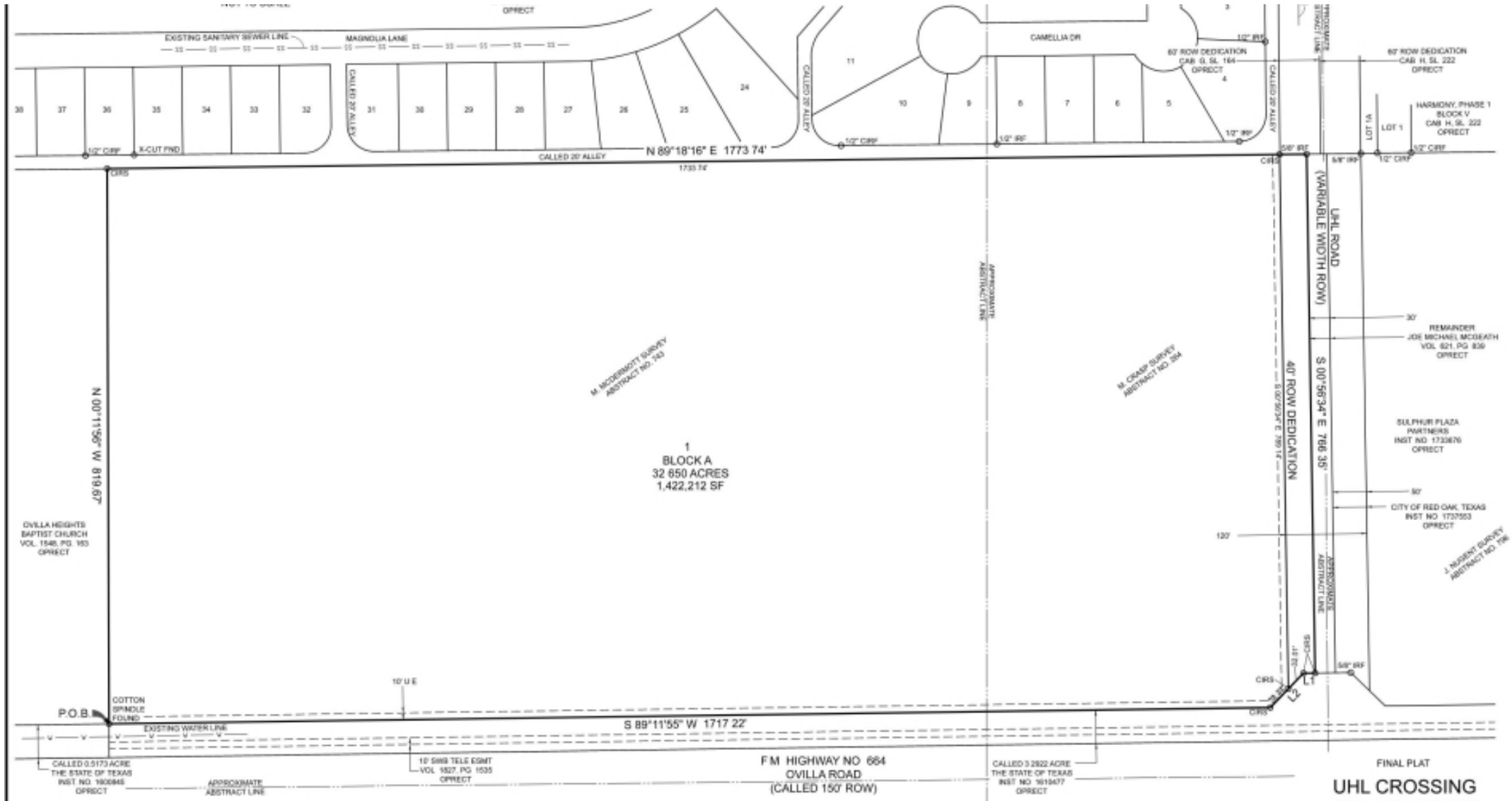


AERIAL VIEW





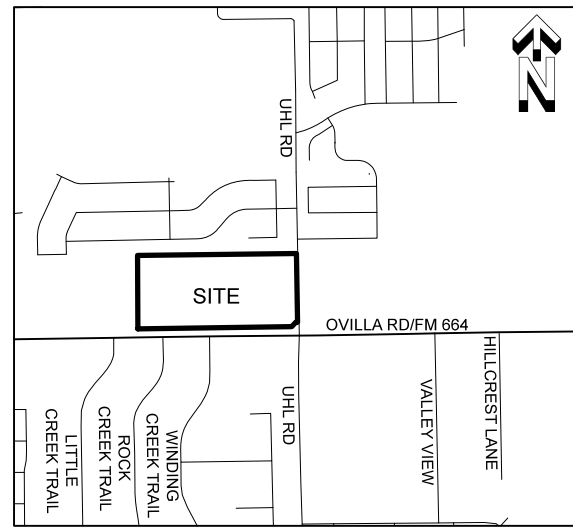
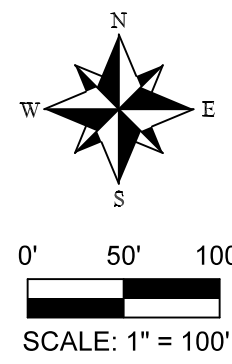
FINAL PLAT



QUESTIONS



COMMENTS

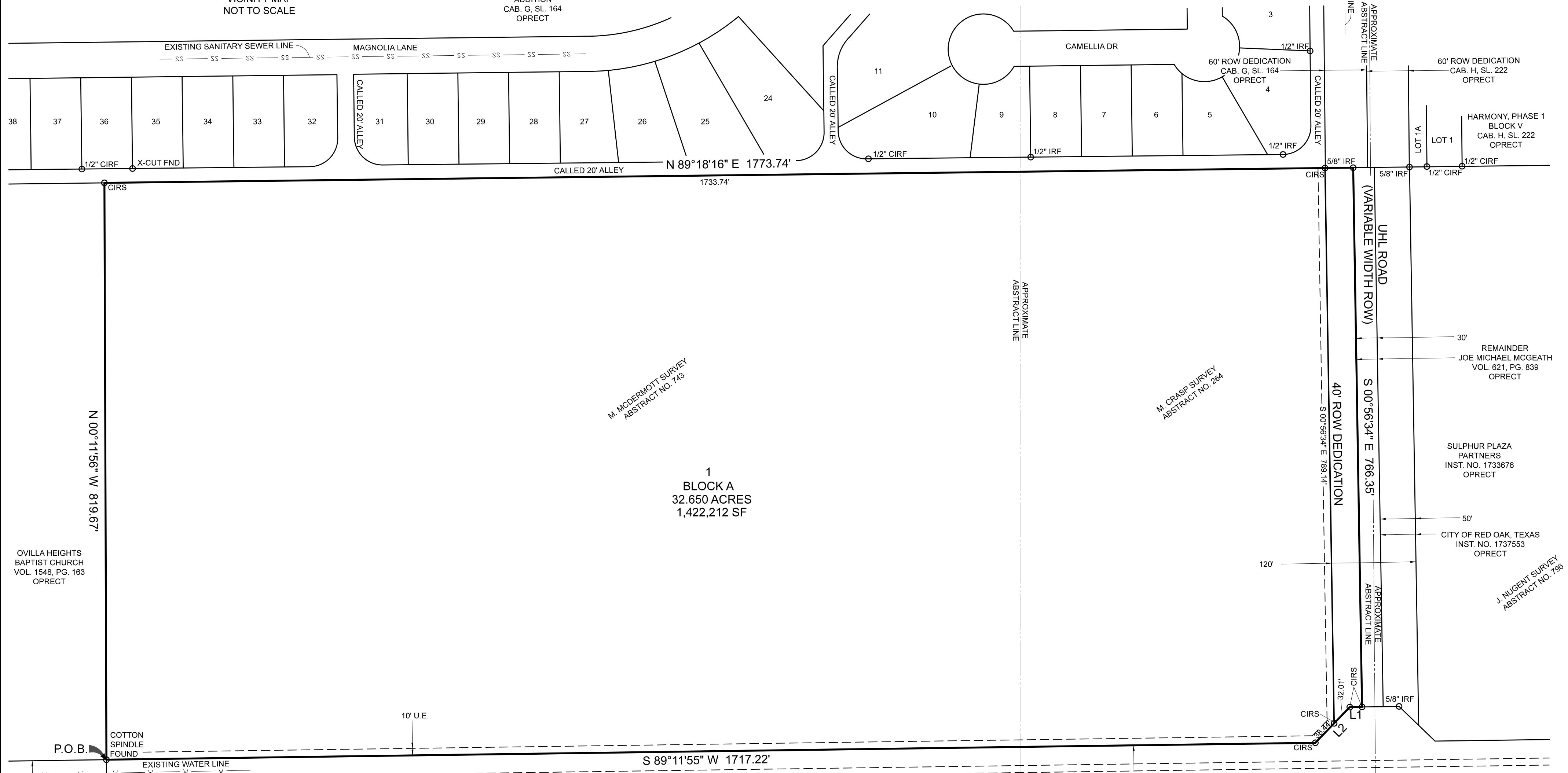


VICINITY MAP
NOT TO SCALE

LINE	BEARING	DISTANCE
L1	S 89°11'55" W	17.39'
L2	S 43°59'13" W	70.45'

MAGNOLIA FARMS
ADDITION
CAB. G. SL. 164
OPRECT

ALL LOTS MONUMENTED WITH A 5/8" IRON ROD WITH CAP STAMPED
"TXRCS" UNLESS OTHERWISE NOTED.



1
BLOCK A
32.650 ACRES
1,422,212 SF

OVILLA HEIGHTS
BAPTIST CHURCH
VOL. 1548, PG. 163
OPRECT

REMAINDER
JOE MICHAEL MCGEATH
VOL. 621, PG. 839
OPRECT

SULPHUR PLAZA
PARTNERS
INST. NO. 1733676
OPRECT

CITY OF RED OAK, TEXAS
INST. NO. 1737553
OPRECT

J. NUGENT SURVEY
ABSTRACT NO. 796

P.O.B.
COTTON SPINDLE
FOUND
CALLED 0.5173 ACRE
THE STATE OF TEXAS
INST. NO. 1600845
OPRECT

10' SWB TELE ESMT
VOL. 1827, PG. 1535
OPRECT

F.M. HIGHWAY NO. 664
OVILLA ROAD
(CALLED 150' ROW)

CALLED 3.2922 ACRE
THE STATE OF TEXAS
INST. NO. 1610477
OPRECT

FINAL PLAT
UHL CROSSING
BEING A 33.359 ACRE ADDITION
IN THE
M. CRASP SURVEY, ABST. NO. 264
AND THE
M. McDERMOTT SURVEY, ABST. NO. 743
CITY OF GLENN HEIGHTS,
ELLIS COUNTY, TEXAS

24
LITTLE CREEK ESTATES
CAB. A, SL. 709
OPRECT

17
LITTLE CREEK ESTATES
PHASE II
CAB. B, SL. 13
OPRECT

49
LITTLE CREEK ESTATES
PHASE III
CAB. B, SL. 45
OPRECT

LOT 1
LORD OF LIFE
LUTHERAN CHURCH
CAB. F, SL. 28
OPRECT

OWNERS:
BUSTER FAMILY TRUST
ATTN: MARK BUSTER
1399 W. COLTON AVE, SUITE #5
REDLANDS, CA 92374
469.708.6833

SURVEYOR:
TEXAS REALITY CAPTURE &
SURVEYING, LLC.
P.O. BOX 252
WAXAHACHIE, TEXAS 75168
469.518.0338
TBPLS FIRM NO 10194359

